

**MINUTES OF THE MEETING OF THE JERSEY VILLAGE
PLANNING AND ZONING COMMISSION**

February 15, 2011 – 6:00 p.m.

THE PLANNING AND ZONING COMMISSION OF THE CITY OF JERSEY VILLAGE, TEXAS, CONVENEED ON FEBRUARY 15, 2011, AT 6:00 P.M. IN THE CIVIC CENTER MEETING ROOM, 16327 LAKEVIEW, JERSEY VILLAGE, TEXAS.

The meeting was called to order at 6:05 p.m. and the roll of appointed officers was taken. Commissioners present were:

Debra Mergel, Vice Chairman
Barbara Freeman, Commissioner
Harry Beckwith, III, Commissioner

Justin Ray, Commissioner
Tom Eustace, Commissioner

Commissioners Rick Faircloth and Michael O’Neal were not present at this meeting.

The following City of Jersey Village City Council members and staff were present for the Joint Public Hearing portion of this agenda:

Mayor Pro tem, Joyce Berube
Council Member, Rod Erskine
Council Member, Curtis Haverty
Council Member Mark Maloy
Council Member Jill Klein

City Manager, Mike Castro
City Secretary, Lorri Coody
Martha Williams, City Attorney
Eric Foerster, Chief of Police
Isabel Kato, Director of Finance
Danny Segundo, Director of Public Works
Michael Brown, Director of Parks
Mark Bitz, Fire Chief

Mayor Russell Hamley was not present. Council Member Jill Klein was not present at the time the meeting was called to order, but joined the meeting in progress at 6:30 p.m.

Additional Staff in attendance: Courtney Rutherford, Assistant City Secretary; Deborah Capaccioli-Paul, Engineering Technician; and Christian Somers-Kuenzel, Building Official.

After taking the roll of appointed officers, Mayor Pro-tem Berube called the meeting’s agenda beginning with the following item:

Review the proposed amendments/recommendations by Kimley-Horn and Associates pertaining to the implementation of Form Based Codes Requirements for the property located south of the U.S. Highway 290 right-of-way and within the corporate city limits of the City of Jersey Village, and provide an opportunity for the Consultants to answer questions concerning the proposed changes.

After calling the item, Mayor Pro-tem Berube called upon Joe Willhite with Kimley-Horn and Associates to make the presentation and address any questions posed by the Commission and Council members.

Joe Willhite briefly addressed Council and the Planning and Zoning Commission concerning the objectives for the evening and introduced Jay Narayana with Gateway Planning Group to give the presentation covering the proposed recommendations for Form Based Codes (FBC).

Ms. Narayana began with an overview of project goals, pointing out that FBC bring sustainable value to the Jersey Village Crossing area. She explained the difference between conventional development and sustainable development and how the zoning objectives of FBC focus on “form” rather than “use.”

Ms. Narayana explained that FBC:

1. Provides for a predictable community
2. Concentrates on physical form
3. Regulates development at various scales with vision
4. Encourages a concept of “walkable” urbanism
5. Provides opportunity to respond to changing market conditions.

In reviewing the Conceptual Plan Map for Jersey Village Crossing, Ms. Narayana explained how the plan would work according to the map. The zoning that comes with the conceptual plan is actually a zoning map with text explaining the code along with graphics. Included are the following:

1. A Use Table
2. Design Standards
3. Sign Standards
4. Street Standards
5. Civic and Open Space Standards
6. An Approval Process

Ms. Narayana also explained the Regulating Plan along with the development character for:

1. The TOD Cord
2. The TOD Mixed Use
3. The TOD Neighborhood
4. The TOD Neighborhood Transition
5. The TOD Highway Mixed Use

A map was displayed depicting how these different TOD areas are situated that fall only within the current boundaries of the corporate city limits of Jersey Village.

Ms. Narayana closed her presentation by explaining how to use FBC by using hypothetical examples to which she applied the FBC standards.

Following Ms. Narayana’s presentation, City Council and the Planning and Zoning Commission had several questions to which Ms. Narayana and/or Mr. Willhite answered accordingly. A summary of the questions and answers follows:

Question: Will there be residential property in the TOD area that falls only within the current boundaries of the corporate City limits of Jersey Village?

Answer: Ms. Narayana stated yes, but it will be above the ground floor of commercial/retail establishments located in the TOD Core.

Question: What is the possibility that residential property will develop more quickly outside the Jersey Village Crossing Area because the codes are less stringent?

Answer: City Manager Castro fielded this question. He stated that any construction outside the City limits will need to obtain water and sewer services. The City would be the contact for these services. Accordingly, as a condition of making the service connection, the city would require annexation.

Question: What is the possibility that no commercial development will take place because it will be economically feasible to build elsewhere because the codes are less stringent?

Answer: Mr. Willhite stated that it is plausible that the commercial development will build elsewhere. However, there are two camps when it comes to FBC developments – those that want it and those that don't. He gave City Centre at Memorial City as an example. He told Council no one would have expected that the project would have had such success when it first began. He stated that City Centre is a prime example of what can happen when this alternative mode of development is chosen. Input was received from the Planning and Zoning Commission that typically it is residential development that drives commercial development.

Council member Klein joined the meeting in progress at 6:30 p.m.

Question: In a recent Council Meeting, it was learned that some vendors/retailers in the City are of the opinion that the City's building codes are not "builder friendly." In connection with this statement, will developers find FBC helpful and/or "builder friendly"?

Answer: Consultant Willhite explained that the code will be more helpful because developers will see that the code preserves the value of their investment. The developers attracted to this mode of development are ones that want to hold on to the property as an investment, rather than build it for resale.

Question: Will the approval process, which is an "administrative process" that basically involves city staff, cause staffing issues/shortages or increases in workload?

Answer: Consultant Willhite explained that the project with Kimley-Horn includes a certain number of consultant hours to train staff in using the form based code. It is thought that the best way to roll out this training will be "hands-on" training. Therefore, once the code is in place and requests are received, Kimley-Horn will assist staff in processing the requests. It is believed that once one or two requests are completed staff will have a fairly good understanding of the process. With that being said, no it should not increase the workload. In fact it will improve workflow due to the administrative process.

Question: If an HEB or a Tinsel Town were to make a request to come into the TOD Core, how would this work/look and where would they be located?

Answer: Ms. Narayana explained that it would depend upon the company's request. She explained that should the request be for their standard buildings, it would be located along the highway frontage. Mr. Willhite explained that most of these large chains now have urban prototypes which would work within the conceptual plan.

Question: What type of architecture will be used?

Answer: Ms. Narayana explained that Section 8 of the FBC document explains building design standards; however, it does not call for a specific type of building architecture.

Question: What is the possibility of the 30 acres being build-out in one “chunk” by a developer?

Answer: Mr. Willhite explained that currently there is a 20 acre piece of land for sale. The other 10 acres making up the 30 acres is not for sale and is owned by two separate owners. Therefore, doing all of the 30 acres at one time might be difficult. Mr. Willhite explained in the discussions about the sale/purchase of land, the asking price was a bit high and none of the developers wanted to invest at this time. However, Mr. Willhite explained that having FBC in place will drive development. But right now the price of land is the stumbling block.

Question: Once FBC is passed, how will the developers know about the code/the prospect of development? Should there be someone to market this prospect?

Answer: Mr. Willhite stated that they have reached out to seven different companies and have already met with three and have meetings set to meet with the remaining four. However, the consensus thus far seems to be that while the area seems to have potential, the timing is not right.

With no further discussion, Mayor Pro-tem Berube called the next item on the agenda as follows:

Review the proposed amendments/recommendations by HDR – Claunch & Miller Engineering Consultants as they relate to amending the City’s Code of Ordinances regarding Slab Elevation Requirements in the City of Jersey Village, and provide an opportunity for the Consultants to answer questions concerning the proposed changes.

Rich Gallegos with HDR – Claunch & Miller gave a slide presentation on the proposed changes concerning water runoff issues resulting from conflicting floodplain requirements; utilization of fill to meet floodplain requirements; construction phase drainage patterns to avoid flooding; and internal consistency of ordinances, including building codes.

Upon completing his presentation he opened the floor for questions. There was considerable discussion surrounding the requirement that should a residence be destroyed by more than 50%, the slab would need to be replaced as well. Mr. Gallegos explained that this requirement is actually not new. The only thing that is changing is the height of the replacement from 12 inches to 18 inches. He explained that the 50% loss requirement has been in effect for quite some time. Discussion continued on this topic about the need for residents to obtain a special rider on their insurance to make sure that they are covered in the event of loss.

There was concern that residents do not know about the need to obtain this insurance and will not have coverage in the event of a loss. There was also concern that there may be many residents placed in a situation where they have to walk away from their homes because they cannot pay for the replacement of a slab elevation to accommodate this requirement.

There was discussion that approximately one third of the homes in the City are located within the 100 year flood plain and over 60% are located in the 500 year flood plain.

With no further discussion Mayor Pro-tem Berube closed the joint work session at 7:25 p.m., and the Planning and Zoning Commission retired from the City Council meeting to conduct its separate posted meeting agenda at 7:28 p.m.

Chairman Mergel opened the Planning and Zoning Commission's posted meeting agenda at 7:29 p.m. with the following Commissioners present:

Debra Mergel, Vice Chairman

Justin Ray, Commissioner

Barbara Freeman, Commissioner

Tom Eustace, Commissioner

Harry Beckwith, III, Commissioner

Consider approval of the minutes for the meeting held on December 13, 2010.

Commissioner Beckwith moved to approve the minutes for the meeting held on December 13, 2010. Commissioner Freeman seconded the motion. The vote follows:

Ayes: Commissioners Beckwith, Freeman, Ray, and Eustace
Chairman Mergel

Nays: None

The motion carried.

Discuss and take appropriate action regarding the preparation and presentation of the Preliminary Report to Council on February 21, 2011, as it relates to the implementation of Form Based Codes Requirements for the property located south of the U.S. Highway 290 right-of-way and within the corporate city limits of the City of Jersey Village.

Chairman Mergel introduced the item. Commissioner Ray moved to open discussion on the item. Commissioner Beckwith seconded the motion. The vote follows:

Ayes: Commissioners Beckwith, Freeman, Ray, and Eustace
Chairman Mergel

Nays: None

The motion carried.

The Commission engaged in discussion and reviewed the proposed Form Base Code (FBC) document presented. In making the review, the Commission discussed and suggested that several changes be made to the FBC document. The suggested changes are included as notations to the FBC document that was included in the packet and is attached to and made a part of these minutes as Exhibit A.

Commissioner Beckwith moved to table this item and postpone presenting the Preliminary Report to City Council until the Commission can review the Preliminary Report with the suggested changes. Commissioner Freeman seconded the motion. The vote follows:

Ayes: Commissioners Beckwith, Freeman, Faircloth, Ray, and Eustace
Chairman Mergel

Nays: None

The motion carried.

Discuss and take appropriate action regarding the preparation and presentation of the Preliminary Report to Council on February 21, 2011, as it relates to amending the city's comprehensive zoning ordinance regarding the implementation of Slab Elevation Requirements in the City of Jersey Village.

Chairman Mergel introduced the item. Commissioner Beckwith moved to open discussion on the item. Commissioner Ray seconded the motion. The vote follows:

Ayes: Commissioners Beckwith, Freeman, Ray, and Eustace
Chairman Mergel

Nays: None

Christian Somers-Kuenzel gave a brief description about what was changed Section 14-88 regarding the Slab Elevation Requirements.

With limited discussion, Commissioner Beckwith moved that the Commission submit the Preliminary Report attached hereto as Exhibit B to Council at the February 21, 2011 City Council Meeting. Commissioner Ray seconded the motion. The vote follows:

Ayes: Commissioners Beckwith, Freeman, Ray, and Eustace
Chairman Mergel

Nays: None

The motion carried.

Adjourn

Chairman Mergel adjourned the meeting at 8:55 p.m.

Courtney Rutherford, Assistant City Secretary

EXHIBIT A

Planning & Zoning Minutes

2-15-2011



MEMORANDUM

TO: City Council and Planning and Zoning Commission Members
FROM: Lorri Coody
SUBJECT: Form Based Codes Document
DATE: Meeting Date: Joint Work Session – February 15, 2011

Attached is an updated copy of the Form Based Codes Document prepared by Kimley-Horn and Associates. This document has been updated with references to the City of Jersey Village Code of Ordinances, citations that were omitted from the Form Based Code Document that was included in your meeting packet.

In working with the Form Based Codes during the Joint Work Session and the Separate Planning and Zoning Meeting to follow, please use this draft copy of the Form Based Codes Document dated February 10, 2011.

Table of Contents

Section 1.	Purpose and Intent
Section 2.	Components of the Code
Section 3.	Administration
Section 4.	Definitions
Section 5.	Regulating Plan
Section 6.	Schedule of Permitted Uses
Section 7.	Building Form and Development Standards
Section 8.	Building Design Standards
Section 9.	Street and Streetscape Design Standards
Section 10.	Signage Standards
Section 11.	Civic Space and Private Open Space Standards
Appendix A:	TOD Conceptual Plan
Appendix B:	Regulating Plan
Appendix C:	Planting List
Appendix D:	Development Process Flow Chart

standards (streetscape standards). In addition, streets are distinguished by the appropriate development context by denoting them on the Regulating Plan as Type 'A' or Type 'B' Streets.

- iv. Mandatory Street Network – The Mandatory Street Network specifies the future streets needed to implement the Jersey Village Crossing Regulating Plan. The Mandatory Streets shall be required and shall generally meet the locational and connectivity goals of the Regulating Plan. Their design shall be guided by Section 9 of this Code.
- v. Mandatory Civic Space – The Mandatory Civic Space areas shown on the Regulating Plan designate the locations of proposed civic spaces (including parks, plazas, greens, and squares). The design of civic spaces shall be guided by Section 11 of this Code.
- vi. Non-Mandatory Street Network – The Non-Mandatory Street Network indicates locations of suggested, but not required streets within the Jersey Village Crossing Regulating Plan. These streets are not mandatory, but at the election of the applicant and their design shall be guided by Section 9.
- vii. Non-Mandatory Civic Space – The Non-Mandatory Civic Space designation indicates the locations of desired, but not required civic/open spaces (including parks, plazas, greens, and squares) to implement the Regulating Plan. Non-Mandatory Civic Spaces are not required, but at the election of the applicant. The design of civic spaces shall be guided by Section 11 of this Code.

2.1.2 Development Standards: The JVCD Code (the text portion of this Code) enumerates the development standards with text and graphics for Character Zones, Special Frontage, building form, civic space, private open space, landscape, building design, signage, lighting, and all related standards for all streets, public and private development.

Section 3. Administration

This section sets forth the provisions for reviewing and approving development applications within Jersey Village Crossing. The intent is to ensure that all development is consistent with the provisions of this Code. All sections of this Code shall be applied during the review process.

3.1 The development standards under Chapter 14, Article 4 of the City of Jersey Village Code of Ordinances, as amended, shall not apply to Jersey Village Crossing except as specifically referenced herein. Development standards not addressed in this ordinance shall be governed by the City of Jersey Village Code of Ordinances to the extent they are not in conflict with the intent or text of the JVCD Code. However, all development in Jersey Village Crossing shall also meet the standards in the City's Uniform Building Code, as amended.

3.2 Sign Standards under Chapter 14, Article 10, as amended, of the City of Jersey Village Code of Ordinances, shall not apply to Jersey Village Crossing except as specifically referenced herein.

3.3 Using this Code:

The following basic steps should be followed to determine the uses and development standards applicable on property within Jersey Village Crossing:

3.3.1 Locate the subject property on the Jersey Village Crossing Regulating Plan.

3.3.2 Identify:

- i. the Character Zone in which the property is located;
- ii. the Street Type designation along all its street frontages; and,
- iii. any Special Frontage Requirements that may be applicable to the subject property.

3.3.3 Review the Schedule of Uses by Character Zone as listed in Table 6.1 to determine allowed uses.

3.3.4 Examine the corresponding zone standards in the Building Form and Development Standards in Section 7 to determine the applicable development standards.

Section 1. Purpose and Intent:

The purpose of the Jersey Village Crossing Development Code, hereafter known as the JVCD Code, is to support development of the area around the proposed transit station along US 290 in Jersey Village into a pedestrian-oriented, mixed-use urban development environment, with convenient access to rail transit, shopping, employment, housing, and regional retail services. The goal of Jersey Village Crossing is to promote an efficient, compact land use pattern; encourage pedestrian activity; reduce the reliance on private automobiles; and provide a more functional and attractive community through the use of recognized principles of urban design.

- 1.1 Economic Development – Jersey Village Crossing and corresponding standards are created to support economic development, sustainable tax base, and job creation by establishing adjacency predictability of private development that supports and leverages investment in and around the Jersey Village transit station.
- 1.2 Implement the Design Goals of the Jersey Village Transit Station– The objective of Jersey Village Crossing is to foster a major regional center with significant regional retail, employment, and residential uses within convenient walking distance from the future transit stations. Development within this area would accommodate large scale office and retail users while providing for appropriately scaled mixed use and residential uses within the district.
- 1.3 Establish Specific Development Standards – The JVCD Code implements the vision for the Jersey Village TOD (transit oriented development) as established in the TOD Conceptual Plan (Appendix A) and the Jersey Village Crossing Regulating Plan, hereafter known as the Regulating Plan (Appendix B). The Regulating Plan shall provide guidance to property owners, developers, and the City on the form, character, and intensity of future development within the station area. Creation of different Character Zones within Jersey Village Crossing enables specific site and locational standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote sustainability, public welfare, walkable mixed use development, housing variety and transportation choice.

Section 2. Components of the Code:

2.1 This JVCD Code shall apply to the Jersey Village Crossing area unless otherwise specified in this Code. Development of property within Jersey Village Crossing shall comply with all applicable development standards set forth in this Code. The components of this JVCD Code consist of:

- 2.1.1 Jersey Village Crossing Regulating Plan: The Jersey Village Crossing Regulating Plan, hereafter known as the “Regulating Plan”, is its official zoning map. It identifies the applicable character zones within Jersey Village Crossing including:
 - i. Character Zones – Jersey Village Crossing is divided into different “Character Zones”. A Character Zone creates a distinct urban form within that Zone which is different from urban forms in other Character Zones. Each Character Zone shall establish use and development standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all property within Jersey Village Crossing into one of five Character Zones.
 - ii. Special Frontage Standards – The Special Frontage Standards establish exceptions and special conditions for all buildings along designated frontages. Special Frontage Standards shall apply in addition to the underlying Character Zone standards.
 - iii. Street Designations by Street Type– The Street Designations illustrate the design, configurations, and development context for all streets within Jersey Village Crossing. The street classification addresses vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median

- 3.3.5 Refer to Section 5.5 for Special Frontage Standards.
- 3.3.6 Refer to Section 8 for Building Design Standards.
- 3.3.7 Refer to Section 9 for Street Type and Streetscape Standards.
- 3.3.8 Refer to Section 10 for Signage Standards
- 3.3.9 Refer to Section 11 for Civic Space and Private Open Space Standards.

The information from the above listed steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it.

3.4 Development within Jersey Village Crossing that complies with the provisions of this Code shall be approved by the City Manager or designee (see Appendix D for flow chart of the review process). In addition to complying with applicable City regulations that are not in conflict with this Code, the applicant shall provide the information to adequately show compliance with this Code as required in Section 3.5.

3.5 All applications for development within Jersey Village Crossing shall require the following:

3.5.1 The applicant shall prepare a site plan demonstrating compliance with the Zone's standards, the Jersey Village Crossing Regulating Plan and TOD Conceptual Plan for administrative review. A site plan application shall include maps (to an appropriate scale) and/or reports that include the following information:

- i. Title block containing the name of the site plan, type of application, name and address of the applicant, plan preparer, and owner and a written and graphic scale.
- ii. Location of the subject property including delineation of Character Zones, Mandatory and Non-Mandatory streets (if any), and any special frontage requirements (if any).
- iii. When subdivision of land is required, the layout of proposed blocks, lots, streets, easements, alleys, and trails, if any, consistent with this Code and other city ordinances and plans;
- ~~xiv.~~ *xiv.* The location of all physical improvements, both existing and proposed, including but not limited to buildings, sidewalks, driveways, parking, landscaping, open space, etc. *add utilities & easements*
- v. All proposed uses on the property and/or buildings.
- vi. Street designation along all public frontages of the property and compliance with the building form and development standards for the specific Character Zone the property is located in per Section 7 of this Code.
- vii. Screening, landscaping, and private open space provision as required by this Code.
- viii. Site plans, building plans, architectural elevations and renderings of proposed building(s) including demonstration of compliance with Building Design Standards in Section 8 of this Code.
- ix. Any other information that may be reasonably necessary to review and determine whether the proposed development complies with this Code.

3.6 The City Manager or designee shall be responsible for the following:

- 3.6.1 Reviewing site plan applications for compliance with the requirements of JVCD Code.
- 3.6.2 Approving site plan applications that are in compliance with the requirements of the JVCD Code.
- 3.6.3 Making determinations on the applications and interpretations of standards in this Code.
- 3.6.4 Approving revisions to previously approved development plans that comply with this Code and all applicable city ordinances.
- 3.6.5 Approving any minor modifications to the approved Regulating Plan per Section 3.8.
- 3.6.6 Recommendations on any Special Development Plan (SDP) applications to the Planning and Zoning Commission (P&Z) and City Council (CC).

3.7 Special Development Plans (SDPs): A request for a modification to any of the standards of this Code other than minor modifications permitted under Sections 3.8 shall be reviewed and processed as an SDP.

3.7.1 Special Development Plans (SDPs) are intended to allow applicants development flexibility to address specific market opportunities and/or contexts. An application for a Special Development Plan shall be processed as an amendment to the zoning ordinance under Chapter 14, Article 4 of the City of Jersey Village Code of Ordinances and may only be considered by the CC after the P&Z has made a recommendation. The City Manager or designee shall review, make recommendations on any SDPs, and shall forward all SDP applications to the P&Z. In evaluating an SDP, CC may consider the extent to which the application meets any of the following:

- i. the goals and intent of Jersey Village TOD Conceptual Plan,
- ii. provides a “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area,
- iii. fits the adjoining context by providing appropriate transitions,
- iv. provides public benefits such as usable civic and open spaces, livable streets, structured or shared parking, and linkages to transit and adjoining opportunities, and
- v. does not hinder future opportunities for higher intensity, mixed use development.

3.8 Minor Modifications to the JVCD Code:

The City Manager or designee shall have the authority to approve a request for minor modifications to JVCD Code that:

- *3.8.1 Does not materially change the circulation and building location on the site;
- 3.8.2 Does not increase the building area permitted under this Code;
- 3.8.3 Does not change the relationship between the buildings and the street;
- 3.8.4 Does not allow a use not otherwise authorized in this Code;
- 3.8.5 Does not allow greater height of any building or reduction of any parking requirement established in this Code; or
- 3.8.6 Change established street cross sections per Table 3.1 below and Section 9 of this Code.

The City Manager or designee shall also have the authority to approve minor modifications outlined in Table 3.1. Any appeals to the decisions of the City Manager on minor modifications shall be heard by the City Council. Any City Council denials of minor modifications or any changes beyond those that meet the criteria above or the thresholds established in Table 3.1, shall be processed as an amendment to this Code under Chapter 14, Article 4 of the City of Jersey Village Code of Ordinances.

Table 3.1 Minor Modifications Allowed

<i>Standard</i>	<i>Minor Modification Allowed</i>	<i>Comments</i>
* Area/boundary of Character Zones (including any Mandatory Civic/Open Spaces)	No more than a 20% change (increase or decrease) in the area of any Character Zone (aggregate or per block)	<ul style="list-style-type: none"> • Shall not eliminate any Character Zone • 20% measurement shall be based on the total area of that specific Character Zone within the entire JVCD • For the purposes of this code, any increase in any Character Zone that results from the elimination of a non-mandatory street shall not count towards the 20% threshold.
Location of any Mandatory Street	Location shall not move more than 100’ in any direction	<ul style="list-style-type: none"> • Shall maintain the connectivity intended by the Regulating Plan
Building Form and Development Standards		
* Build to zones/setbacks	No more than a 20% change in the maximum or minimum setback.	<ul style="list-style-type: none"> • Changes to the build to zones and setbacks may only be due to any changes to the street cross sections or change in the width of a sidewalk • In no case shall the sidewalk be less than 6 feet in width
• Building Frontage	No more than a 15% reduction in the required building frontage along each block of a Type ‘A’ Street	<ul style="list-style-type: none"> • Any reduction in the required building frontage shall be to accommodate porte-cocheres for drop-off and pick-up.

<ul style="list-style-type: none"> Street screen 	Waiver of street screen requirement along a Type 'B' Street	<ul style="list-style-type: none"> Requirement for a street screen may only be waived along a Type 'B' Street along the frontage of any interim surface parking lot (off-street) that is intended to be in-filled with a parking structure. In no case shall any portion of the surface parking have frontage along a Type 'A' Street without a required street screen In no case shall the (off-street) surface parking lot be located at a street intersection for a minimum depth of 30' along each street (regardless of the Street Type).
Street Cross Sections	Cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, pedestrian accommodation, and street tree planting	<ul style="list-style-type: none"> Any changes in the street cross sections shall be based on specific development context such as vegetation, natural features, drainage, and fire access and is subject to approval by the City.

Section 4. Definitions

In addition to Definitions in Chapter 14, Article 1, Section 14.5 of the City of Jersey Village Code of Ordinances, the following terms shall have the corresponding interpretations.

Arcade means a portion of the main façade of the building that is at or near the property line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

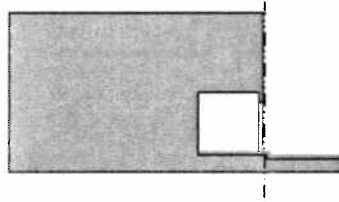


Image of an arcade

Auto-Related Sales and Service Uses means establishments that provide retail sales and services related to automobiles including, but not limited to, cars, tires, batteries, gasoline, etc.

Block Face Dimensions means the linear dimension of a block along one of its street frontages.

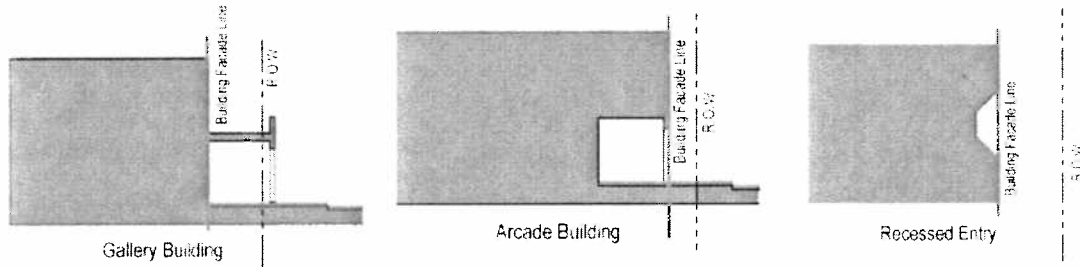
Block Perimeter means the aggregate dimension of a block along all of its street frontages.

Block means the aggregate of lots, pedestrian passages and rear alleys, circumscribed on all sides by streets.

Build-to Line means the line at which the principal building's front façade shall be built.

Build-to Zone (BTZ) means the area within which the principal building's front façade is to be built.

Building Façade Line means the vertical plane along a lot where the building's front façade is actually located.



Building Façade Line Illustrations

Building Form Standards means the standards established for each Character Zone that specify the height, bulk, orientation, and elements for all new construction and development.

Building Frontage means the percentage of the building’s front façade that is required to be located at the front Build-to Line or Zone as a proportion of the lot’s frontage along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

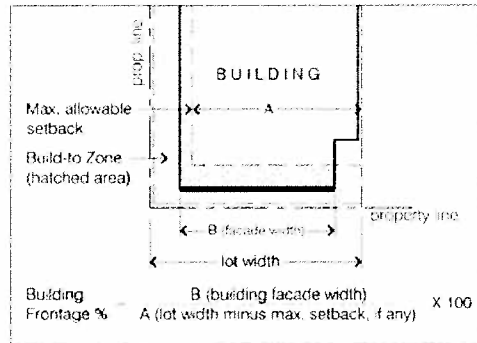


Image showing how a lot’s building frontage is calculated.

Character Zone means an area within the Jersey Village Crossing development that creates a distinct urban form different from other areas within Jersey Village Crossing. Character Zones are identified in the Regulating Plan.

City Manager means the City Manager of the City of Jersey Village or his/her designee.

Civic Space means publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. Building façades facing a Civic Space shall be treated as a Type ‘A’ Street frontage.

Green means a civic space intended for unstructured recreation, spatially defined by landscaping rather than building frontages.

Park means a civic space that is a preserve largely available for unstructured recreation.

Plaza means a primarily hardscaped civic space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.

Playground is a civic/ private open space designed and equipped for children’s recreation. A playground may be fenced and may include an open shelter. Playgrounds may be located within

residential areas and may be placed within a block. They may be included in other civic/open spaces.

Comprehensive Plan means the City of Jersey Village Comprehensive Plan that establishes policy guidance for the long-term growth and development of the City as adopted on the effective date of this Code. For the purposes of this Code, the Jersey Village TOD Conceptual Plan shall be the policy document that provides guidance for the development of Jersey Village Crossing.

Encroachment means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R.O.W, or above a height limit.

Gallery means an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.

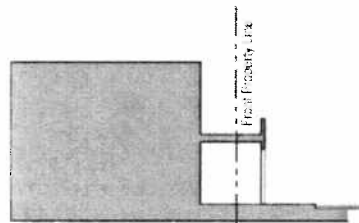


Image of a Gallery

Kiosk means a small temporary or permanent structure often open on one or more sides used for sales in civic/open spaces.

Live-Work Unit means a dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by this ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Living Screen means a Street Screen composed of landscaping in the form of vegetation.

Main Street Frontage means the special frontage requirement along identified Type 'A' Street frontages as indicated in the Regulating Plan.

Master Sign Plan means a unique sign plan to implement a specific vision for a portion or all of the development that meets Section 10.2 of this Code.

Minor Modification means any changes to the JVCD Code that meet the threshold criteria established in Section 3.8 and Table 3.1.

Non-Mandatory Civic Space means plaza, green, square, or park area identified on the Regulating Plan which is shown as a suggested feature within the JV TOD Conceptual Plan. A Non-Mandatory Civic Space is not required and is at the election of an applicant or developer.

Non-Mandatory Street means a street that is identified on the Regulating Plan which is shown as a suggested street within the Jersey Village TOD Conceptual Plan. The Non-Mandatory Street is not required and is at the election of an applicant or developer.

Pedestrian Easement means a grant of use of private property for pedestrian access and use.

Private Open Space means open space provided for all residential uses, privately accessible open spaces such as courtyards, porches, and balconies.

Regulating Plan means the Zoning Map attached hereto as Appendix B that shows the Character Zones, Civic Spaces, location of Special Frontages, Streets, and other Special Requirements applicable to the Jersey Village Crossing subject to the standards in this Code.

Residential Loft means a residential unit that is built to Retail Ready standards and adapted for residential uses.

Retail Ready means space constructed at a minimum interior height of 14 feet which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Retail-Ready space, the space must comply with all building and construction codes for that use. The intent of Retail-Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Retail Sales Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc., and health and personal services.

Service Uses means a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Sign, Building Blade means a pedestrian-oriented sign that is affixed perpendicular to the corner of a building or to the front façade of a building above the ground floor to provide identification for the whole building.



Image of a Building Blade Sign

Sign, Marquee means a sign structure placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or the name of the event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Blade signs.



Image of a Marquee sign with a Building Blade Sign

Sign, Monument means any sign which is connected to the ground and which has no clear space for the full width of the sign between the bottom of the sign and the surface of the ground. A monument sign may include a sign face and sign structure, and may also include a sign base and sign cap.



Image of a Monument Sign

Sign, Sandwich Board means a portable sign consisting of two panels of equal size, which are hinged at the top or one panel with a support and placed on the ground or pavement so as to be self-supporting.



Images of sandwich board signs.

Sign, Tenant Blade means a smaller pedestrian-oriented sign that is affixed perpendicular to the building façade under a canopy or awning or immediately over a tenant space and provides identification for individual tenants within a building.



Image of a Tenant Blade Signs

Special Development Plan means a development application that meets Section 3.7 of this Code.

Special Frontage Requirements means standards applied to certain blocks as indicated in the Regulating Plan in order to address specific requirements and transitions based on street frontage and adjacency in addition to the underlying Character Zone standards.

Station Platform Frontage means the special frontage requirement on blocks with frontage along the rail station platform as indicated in the Regulating Plan.

Street Screen means a freestanding wall or living screen built along the BTZ or in line with the building façade line along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



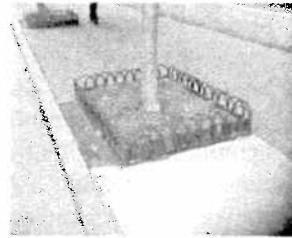
Image of a combination masonry and living street screen

Street Type means a specific designation for streets in Jersey Village Crossing that establishes a certain character and cross-sections to improve walkability within the development.

Street Network means the Mandatory and Non-Mandatory network for new and existing streets within Jersey Village Crossing as established in the Regulating Plan.

TOD Conceptual Plan means the general block level plan that provides guidance for the future development of Jersey Village Crossing into a transit-oriented development. It indicates the location of different character areas, streets, and open spaces within the area and is adopted as Appendix A to this Code.

Tree Well means an unpaved area around the trunk of a tree within the sidewalk area that is either landscaped with ground cover or covered with a tree grate.



Example of a tree well with a tree grate Example of a tree well with landscaping

Type 'A' Street means the streets identified as such on the Regulating Plan. Type 'A' Streets are the primary pedestrian streets and buildings along Type 'A' Streets shall be held to the highest standard of pedestrian-oriented design.

Type 'B' Street means the streets identified as such on the Regulating Plan. Type 'B' Streets are intended to primarily accommodate access to parking, service, and other auto-related functions.

Section 5. The Regulating Plan

5.1 The Regulating Plan (Appendix B) is hereby adopted as the official zoning map for the Jersey Village Crossing.

5.2 Character Zones Established – the following Character Zones are established. The boundaries of the specific Character Zones shall be established in the Regulating Plan.

5.2.1 TOD Core: The TOD Core provides the most opportunity for the highest intensity development. It is the area that has significant development impact and the highest pedestrian activity due to its immediate adjacency to the transit station. The TOD Core consists of the highest density and height, with the greatest variety of uses. Development within the TOD Core shall meet the Building Form and Development Standards in Section 7.1 of this Code.

5.2.2 TOD Mixed Use: The TOD Mixed Use is the area adjacent to the TOD Core that is intended for high intensity commercial and residential uses in addition to supporting retail and restaurant uses. Development within the TOD Mixed Use shall meet the Building Form and Development Standards in Section 7.2 of this Code.

5.2.3 Highway Mixed Use: Highway Mixed Use is intended to provide an appropriate transition into the Jersey Village TOD from the US 290 access road and the future Hempstead managed lanes. This area is also intended for regional office and retail development. Development within the Highway Mixed Use shall meet the Building Form and Development Standards in Section 7.3 of this Code.

5.2.4 TOD Neighborhood: The TOD Neighborhood consists primarily of a residential fabric. The area is intended to have a mix of small apartments, townhomes and live-work units with commercial activity concentrated at street intersections. Development within the TOD Neighborhood shall meet the Building Form and Development Standards in Section 7.4 of this Code.

5.2.5 TOD Transition: The TOD Transition is intended to provide for a range of commercial (retail, office, light/cottage industrial and live-work) and residential uses as a transition from the TOD Neighborhood. Development standards will emphasize transitioning of existing heavier industrial uses to ones more compatible with adjoining neighborhoods. Development within the TOD Transition shall meet the Building Form and Development Standards in Section 7.5 of this Code

5.3 Street Designations By Street Type Established – The Regulating Plan shall establish the following Street Designations.

- * 5.3.1 Type 'A' Streets Established – Type 'A' Streets are intended to be the primary pedestrian streets and buildings along Type 'A' Streets shall be held to the highest standard of pedestrian-oriented design. The Type 'A' Streets are TOD Main Street, Mixed Use Avenue, Canal Street, and TOD General Street as identified on the Regulating Plan.
- * 5.3.2 Type 'B' Streets Established – Type 'B' Streets are intended to balance pedestrian orientation with automobile orientation. Buildings along Type 'B' Streets may be permitted to accommodate some service and auto-related functions. The Type 'B' Streets are Urban Avenue and Suburban Boulevard as identified on the Regulating Plan.

*add
Bike
lanes*

- 5.4 Mandatory and Non-Mandatory Streets by Street Type – The Street Network indicates Mandatory and Non-Mandatory streets needed to implement the Jersey Village Crossing Regulating Plan. The Regulating Plan designates the type, classification, and location of streets. All new and improved streets in Jersey Village Crossing shall meet the street design standards established in Section 9 herein.
- 5.5 Special Frontage Requirements – In order to address specific requirements and transitions based on street frontage and adjacency, the following Special Frontage Requirements as established in the Regulating Plan shall apply:
 - 5.5.1 Main Street Frontage: Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by residential units and/or lodging rooms in hotels to a minimum depth of 30 feet as measured from the front building line.
 - 5.5.2 Station Platform Frontage: Ground floors of all buildings designated as Station Frontage on the Regulating Plan shall provide shaded areas to a minimum depth of 6 feet. Shaded devices may include arcades, galleries, awnings, canopies, etc.
- 5.6 Civic Space – The Regulating Plan indicates Mandatory and Non-Mandatory Civic Spaces. The specific standards for Civic Space are established in Section 11.

Section 6. Schedule of Permitted Uses

6.1 Generally: Due to the emphasis on urban form over land uses in Jersey Village Crossing, general use categories have been identified by character zones. Uses not listed in the following schedule, but are substantially similar, may be permitted upon the approval of the City Manager or designee, subject to appeal directly to the City Council.

6.2 Schedule of Uses:

Table 6.1

Character Zone	TOD Core	TOD Mixed Use	Highway Mixed Use	TOD Neighborhood	TOD Transition
Land Use					
Commercial Uses (Office, Retail, Sales & Service Uses)					
* Retail Sales or Service with <u>no drive through facility</u> (includes alcohol sales which shall meet Chapter 6, Alcoholic Beverages of the City of Jersey Village Code of Ordinances). Excluded from this category are <u>Auto-Retail Sales and Service Uses</u> (see Section 4 of this Code for Definition of Retail, Service uses, and Auto-related Sales and Service)	P	P	P	P/C	P
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u>	P	P	P	P/C	P

No Auto Sales in this District.

Character Zone	TOD Core	TOD Mixed Use	Highway Mixed Use	TOD Neighborhood	TOD Transition
Offices for business, professional, and technical uses such as accountants, architects, lawyers, doctors, etc.	P	P	P	P/C	P
Research laboratory headquarters, laboratories and associated facilities	P	P	P	NP	P
Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through facilities</u> Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages which shall meet Chapter 6 Alcoholic Beverages of the City of Jersey Village Code of Ordinances.	P	P	P	P/C	P
Any use with a drive through facility	P/C	P/C	P/C	NP	P/C
Auto-related Sales and Service	NP	NP	P/C	NP	P/C
Arts, Entertainment, and Recreation Uses					
Art galleries	P	P	P	P/C	P
Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)	P	P	P	NP	P
Games arcade establishments	P	P	P	NP	P
Theater, cinema, dance, music or other entertainment establishment	P	P	P	NP	P
Museums and other special purpose recreational institutions	P	P	P	NP	P
Fitness, recreational sports, gym, or athletic club	P	P	P	NP	P
Parks, greens, plazas, squares, and playgrounds	P	P	P	P	P
Educational, Public Administration, Health Care and Other Institutional Uses					
Business associations and professional membership organizations	P	P	P	P/C	P
Child day care and preschools	P	P	P	NP	P
Schools, libraries, and community halls	P	P	P	NP	P
Universities and Colleges	P/C	P/C	P	NP	P
Hospital	P	P	P	NP	P
Civic uses	P	P	P	NP	P
Social and fraternal organizations	P	P	P	P/C	P
Social services and philanthropic organizations	P	P	P	P/C	P
Religious Institutions	P	P	P	NP	P
Funeral homes	P	P	P	NP	P
Residential Uses					
Home Occupations	P/A	P/A	P/A	P/A	P/A
Multi-family residential					
Ground Floor	P/C	P	P/C	P	P
Upper Floors	P	P	P	P	P
Residential Lofts	P	P	P	P	P
Single-family residential attached dwelling unit (Townhomes)	P/C	P/C	P/C	P	P
Live-work unit	P	P	P	P	P
Manufacturing, Transportation, Communication, and Utility Uses					
Wood, paper, and printing products manufacturing	NP	NP	NP	NP	P
Warehouse and storage	NP	NP	NP	NP	P/A
Miscellaneous manufacturing (included in this category are jewelry, silverware, personal metal goods, flatware, dolls, toys, games, musical instruments, office supplies, and signs.)	NP	NP	NP	NP	P
Wholesale trade establishment	NP	NP	NP	NP	P
Publishing (newspaper, books, periodicals, software)	NP	P	P	NP	P
Motion picture and sound recording	NP	P	P	NP	P
Telecommunications and broadcasting (radio, TV, cable, wireless communications, telephone, etc.)	NP	NP	P	NP	P
Information services and data processing	NP	P	P	NP	P
Other Uses					
Model homes for sales and promotion**	P	P	P	P	P
Hotels	P	P	P	NP	P
Parking, surface (primary use of property)	NP	NP	P	NP	P
Parking, surface (accessory use of property)	P	P	P	P	P
Parking, structured	P	P	P	P	P
Private attached garage	NP	NP	NP	P	P
Private detached garage	NP	NP	NP	P	P

Character Zone	TOD Core	TOD Mixed Use	Highway Mixed Use	TOD Neighborhood	TOD Transition
Sales from kiosks	P	P	NP	NP	NP
Veterinary clinic	NP	P	NP	NP	P
Community garden	P	P	P	P	P
Antennas including cell, accessory, and mounted on top of buildings	P/A/C	P/A/C	P/A/C	NP	P/A/C
Wind energy equipment - Conditional Use	P/A	P/A	P/A	P/A	P/A
Solar energy equipment	P/A	P/A	P/A	P/A	P/A
Special Event	P/SUP	P/SUP	P/SUP	P/SUP	P/SUP
Rain harvesting equipment	P/A/C	P/A/C	P/A/C	P/A	P/A
Utility equipment (includes electrical transformers, gas meters, etc.)	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C

** Model homes are limited to a time period until all the homes are sold in the neighborhood.

P= Permitted by right NP= Not Permitted P/C= Permitted with design criteria per Table 6.2 P/SUP = Permitted with a Specific Use Permit P/A = Permitted Accessory Use NA= Not applicable
 A = Accessory use to not exceed 25% of the primary use building square footage

6.3 Use Criteria: All uses listed as P/C in Table 6.1 shall also meet the following standards in Table 6.2

Use	Zone	Location & Design Criteria
Non-Residential Uses		
Any permitted use with a drive through facility	TOD Core, TOD Mixed Use, Highway Mixed Use, and TOD Transition	<ul style="list-style-type: none"> All drive through access (driveways) shall be from Type 'B' Streets. Drive through lanes and/or canopies shall not have frontage along or be located along any Type 'A' Streets. Drive through areas shall be screened by a 4' high Street Screen.
Universities and Colleges	TOD Core & TOD Mixed Use	<ul style="list-style-type: none"> Shall be required to provide structured parking as part of the build-out for the university/college campus
Auto-related Sales and Service	Highway Mixed Use and TOD Transition	<ul style="list-style-type: none"> Gas pumps, canopies, and/or service bays shall not be located along any Type 'A' Street frontage. No more than 50% of a block's frontage along a Type 'B' Street shall be occupied by gas pumps, canopies, and/or service bays. Any buildings associated with the use shall also have a pedestrian entrance at a Type 'A' Street. No outdoor storage of vehicles or other products sold shall be permitted. All auto-related sales display shall be inside storefronts.
Retail sales and service	TOD Residential	<ul style="list-style-type: none"> Shall only be permitted on corner lots in the TOD Residential Zone Ground floors of the buildings shall be built to Retail Ready standards with 15' ground floor clear height and H/C access. Building area shall not exceed 10,000 sq.ft.
Finance, Insurance, and Real Estate establishments		
Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through facilities</u>		
Business Associations and professional membership organizations		
Social and fraternal organizations		
Social services and philanthropic organizations		
Offices for business, professional, and technical uses	TOD Residential	<ul style="list-style-type: none"> Shall be permitted in any live-work building where the ground floor is built to Retail Ready standards with 15' ground floor clear height and H/C access. All other buildings for office and art gallery uses shall be limited to 6,000 sq.ft.
Art Galleries		
Residential Uses		
Multi-family residential Ground Floor	TOD Core and Highway Mixed Use	<ul style="list-style-type: none"> All ground floors along all Type 'A' Streets and US 290/Hempstead Managed Lane frontages shall be built to Retail Ready standards.

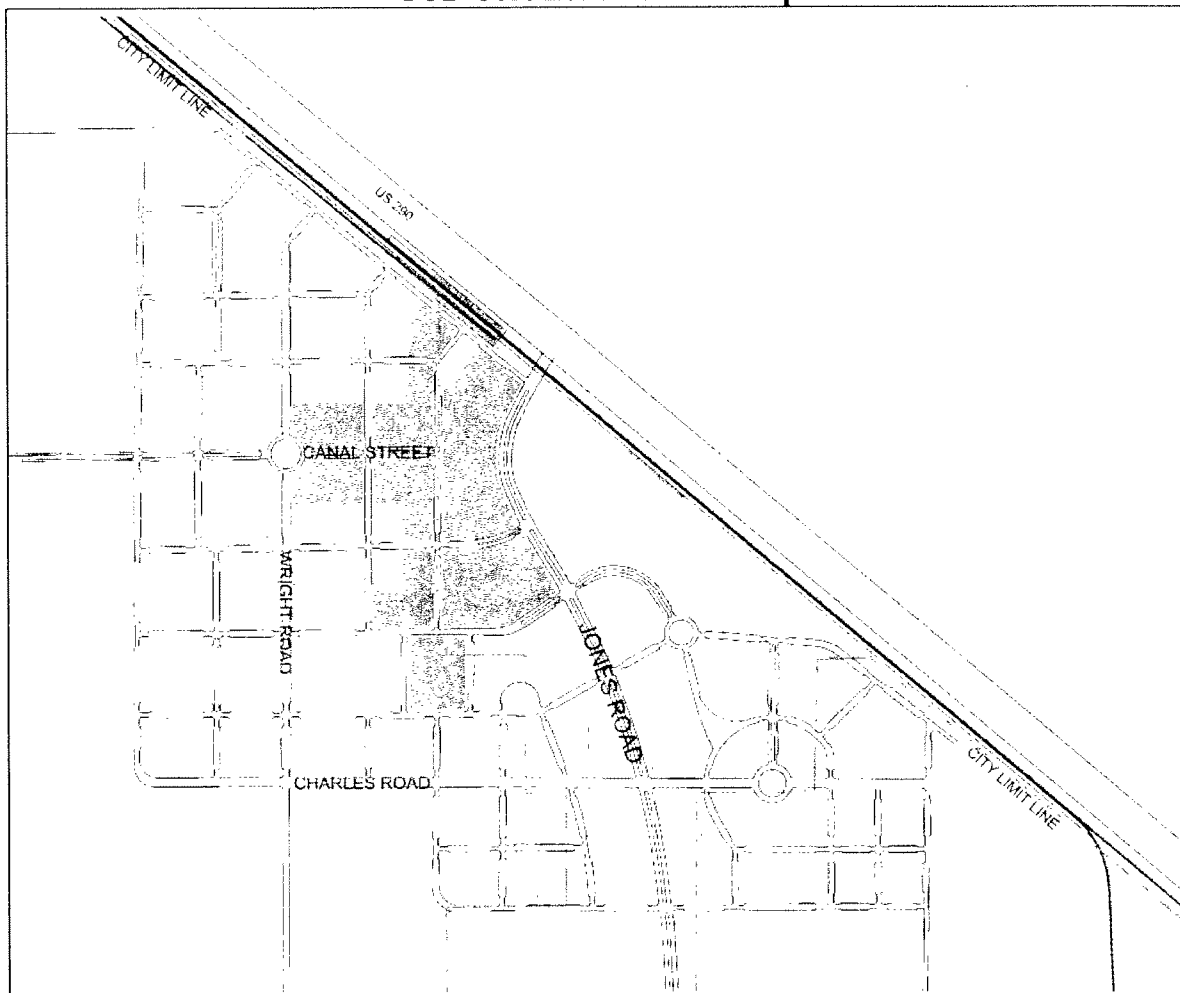
Table 6.2 – Use Criteria		
<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
		<p>Ground floors may be occupied by residential uses unless designated as Main Street Frontage.</p> <ul style="list-style-type: none"> • Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan <u>shall not</u> be occupied by residential units and lodging rooms to a minimum depth of 30 feet as measured from the front building line.
Single-family residential attached dwelling unit (Townhomes)	TOD Core, TOD Mixed Use, Highway Mixed Use	<ul style="list-style-type: none"> • Shall be permitted along Type 'B' Streets • Frontages along street intersections shall be built to Retail Ready standards for a minimum of 30' along each street or the width of the lot, whichever is less.
Other Uses		
Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	TOD Core, TOD Mixed Use, Highway Mixed Use, and TOD Transition	<ul style="list-style-type: none"> • Antennas shall be permitted on rooftops. • Antennas shall be screened entirely with a screen of same color as the principal building. • Antennas shall not be visible from adjacent Type 'A' Street.
Rain water harvesting equipment	TOD Core, TOD Mixed Use, Highway Mixed Use, and TOD Transition	<ul style="list-style-type: none"> • Rain water harvesting equipment may not be installed along Type 'A' Streets. • On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.
Utility equipment (includes electrical transformers, gas meters, etc)	All Zones	<ul style="list-style-type: none"> • Utility equipment shall not be installed with frontage on Type 'A' Streets. • On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.

Section 7. Building Form and Development Standards

The following section establishes the Building Form and Development Standards for all Character Zones within Jersey Village Crossing. Diagrams and reference letters are used for illustrations purposes only. Reference letters may not be in continuous sequence.

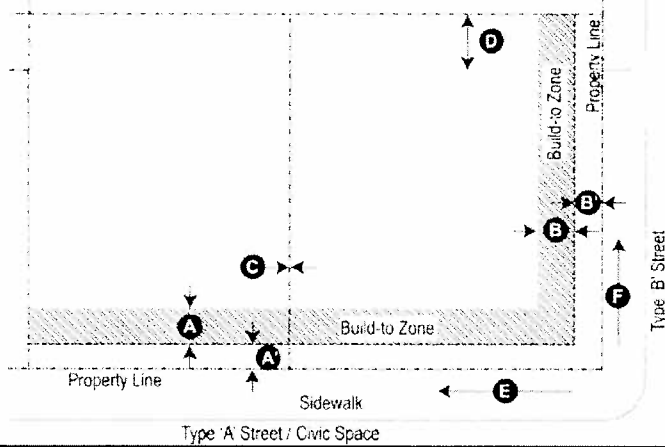
7.1 TOD Core Zone

TOD Core Zone Location Map



Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements

7.1.1 Building Placement



Legend

- Property Line
- Setback Line
- Build-to Zone
- Building Area

Build-To Zone (BTZ)

(Distance from property line to the edge of the BTZ)

Front (Type 'A' Street and Civic Space)	5 – 10 feet (see #1)	A
Front (Type 'B' Street)	5 – 10 feet (see #1)	B

Setback (distance from property line)

Front (Type 'A' Street and Civic Space)	5 feet (min.) – 10 feet (max.)	A'
Front (Type 'B' Street)	5 feet (min.) – 10 feet (max.)	B'
Side	0 feet (see #2)	C
Rear	5 feet	D

Building Frontage

Building Frontage required along Type 'A' Street/civic space BTZ	90% (min.) (see #3 and #7)	E
Building Frontage required along Type 'B' Street BTZ	25% (min.) (see #3 and #7)	F

7.1.2 Block Standards

Block face dimensions	250 – 400 feet
Block perimeter	1400 feet (max.)

7.1.3 Commercial Frontage Requirements

Ground floors of all buildings fronting on Type 'A' Streets and the US 290/ Hempstead Managed lanes shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

7.1.4 Special Frontage Requirements

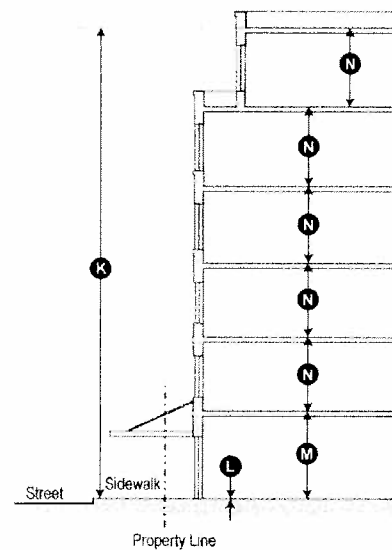
Requirements Specific to Main Street Frontage

Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by residential units and lodging rooms to a minimum depth of 30 feet as measured from the front building line.

Requirements Specific To Station Frontage

Ground floors of all buildings designated as Station Frontage on the Regulating Plan shall provide shaded areas to a minimum depth of 6 feet. Shaded devices may include arcades, galleries, awnings, canopies, etc.

7.1.5 Building Height



Principal Building Standards

Building maximum	6 stories (see #4 and #8)	K
First floor to floor height	15 feet (min.) (see #5)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)	L
Upper floor(s) height (floor-to-floor)	10 feet min.	N

Notes

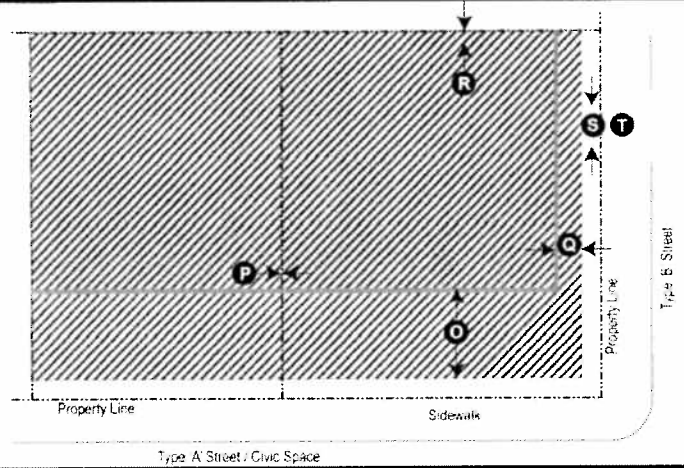
- #1 – The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – Corner building street facades shall be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.

#5 – First floor heights shall not apply to parking structures.

#6 – All buildings in the TOD Core Zone shall meet the Building Design Standards in Section 8.

#7 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.

7.1.6 Parking & Service Access



Legend

- Property Line
- Above Grade Parking Area
- Parking Setback
- Building Footprint
- Surface Parking Area

(i) Parking Location

Surface/At Grade Parking

Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building facade line along that street	Q
Side setback (distance from property line)	0 feet min.	P
Rear setback (distance from property line)	0 feet min.	R

Above Grade Parking (distance from property line)

Setback along Type 'A' Street, Type 'B' Street, Slip Road Frontage and Civic Space	0 feet min.	O
Side and rear setbacks	0 feet min.	
Upper Floors	May be built up to the building line	

(ii) Required Off-Street Parking Spaces (see #11 and #12)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.0 space/unit

(iii) Driveways and Service Access

Parking driveway width	20 feet max. (except when drives may need to be wider to address service access or fire lane standards)	S
------------------------	---	----------

Driveways and off-street loading and unloading shall not be located on a Type 'A' Streets. **T**

Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service.

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

If driveway and/or off-street service loading and unloading access is provided from a Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.

7.1.7 Encroachments

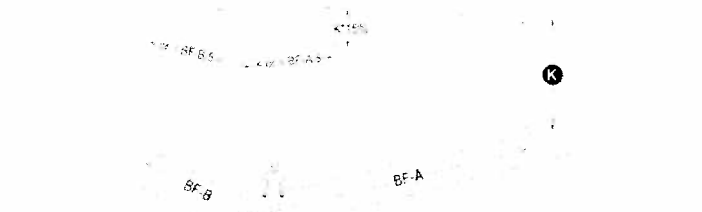
Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.1.8 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

#8 - Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



#9 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

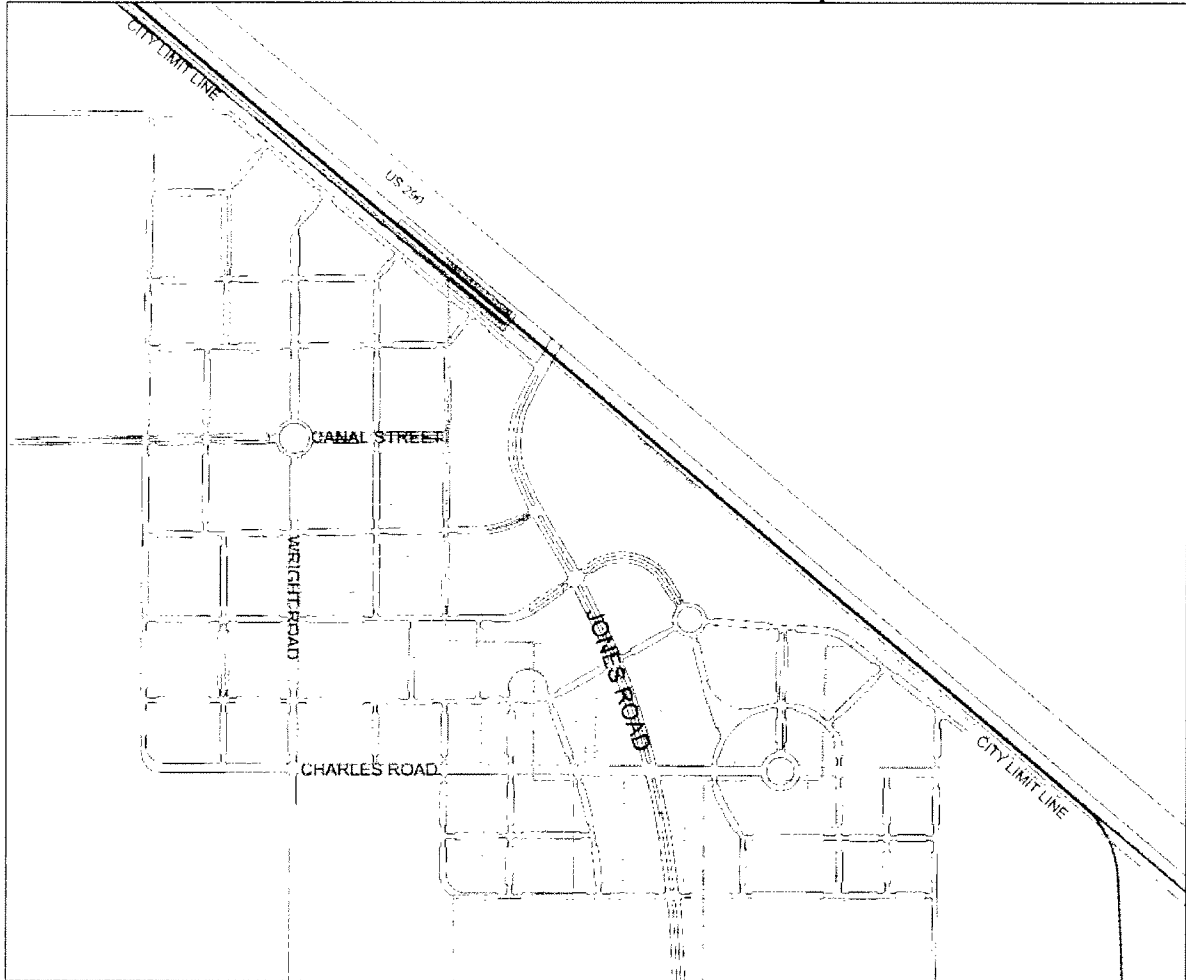
#10 - Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line.

#11 - Required parking may be provided anywhere within the TOD Core Zone.

#12 - Chapter 14, Article 11 of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.

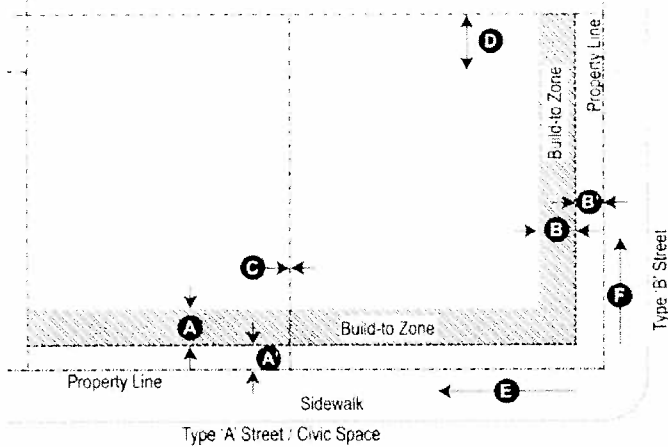
7.2 TOD Mixed Use Zone

TOD Mixed Use Zone Location Map



Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements

7.2.1 Building Placement



Legend

- Property Line
- Setback Line
- Build-to Zone
- Building Area

Build-To Zone (BTZ)
(Distance from edge of the property line to the edge of the BTZ)

Front (Type 'A' Street and Civic Space)	5 – 10 feet (see #1)	A
Front (Type 'B' Street)	5 – 10 feet (see #1)	B

Setback
(Distance from property line)

Front (Type 'A' Street and Civic Space)	5 feet (min.) – 10 feet (max)	A'
Front (Type 'B' Street)	5 feet (min.) – 10 feet (max)	B'
Side	0 feet (see #2)	C
Rear	0 feet (see #2)	

Building Frontage

Building Frontage required along Type 'A' Street/civic space BTZ	80% (min.) (see #3 and #7)	E
Building Frontage required along Type 'B' Street BTZ	25% (min.) (see #3 and #7)	F

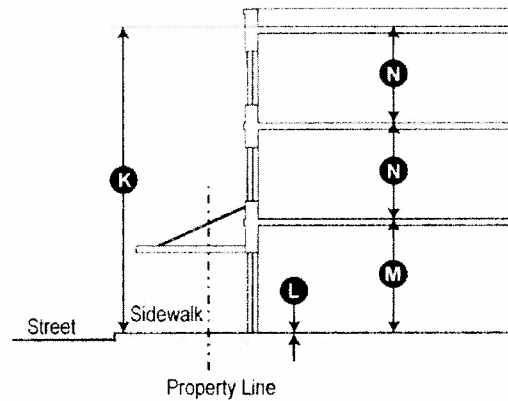
7.2.2 Block Standards

Block face dimensions	250 – 400 feet
Block perimeter	1500 feet (maximum)

7.3.3.1 Commercial Building Requirements

Ground floors of all buildings fronting on Type 'A' Streets shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

7.3.4 Building Height



Principal Building Standards

Building maximum	3 stories (see #4 and #7)	K
First floor to floor height	15 feet min. (see #5)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)	L
Upper floor(s) height (floor-to-floor)	10 feet min.	N

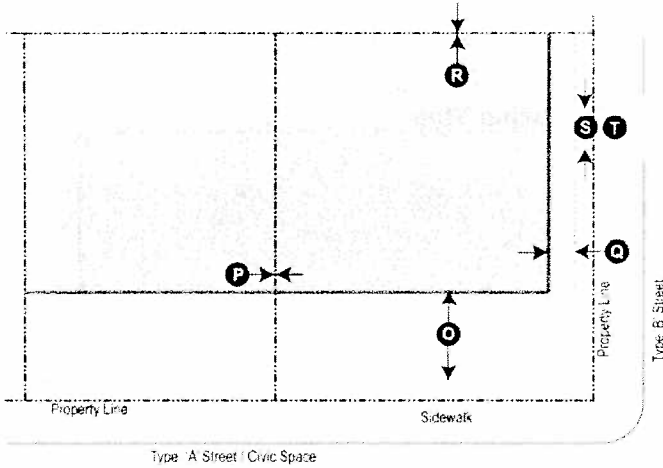
Accessory Building Standards

Building maximum	2 stories (see #4)
------------------	-----------------------

Notes

- #1 – The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – Corner building street facades shall be built to the BTZ for a minimum of 30 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.
- #5 – All buildings in the TOD Mixed Use Zone shall meet the Building Design Standards in Section 8.
- #6 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.

2.2.4 Parking & Service Access



Legend

Property Line	Surface/At Grade Parking Area
Parking Setback	Building Footprint

(i) Parking Location

Surface/At Grade Parking		
Type 'A' Street, Slip Road Frontage and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building facade line along that street	Q
Side setback (distance from property line)	0 feet min.	P
Rear setback (distance from property line)	0 feet min.	R

(ii) Required Off-Street Parking Spaces (see #9 and #10)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.5 space/unit

(iii) Driveways and Service Access

Parking driveway width	20 feet max. (except when drives may need to be wider to address service access or fire lane standards)	S
Driveways and off-street loading and unloading	shall not be located on a Type 'A' Streets.	T

Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service.

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

If driveway and/or off-street service loading and unloading access is provided from a Type 'A' Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.

2.2.6 Encroachments

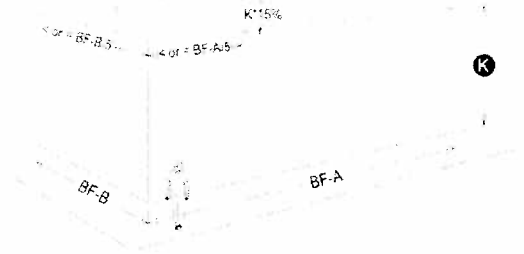
Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

2.2.7 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

#7 - Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



#8 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

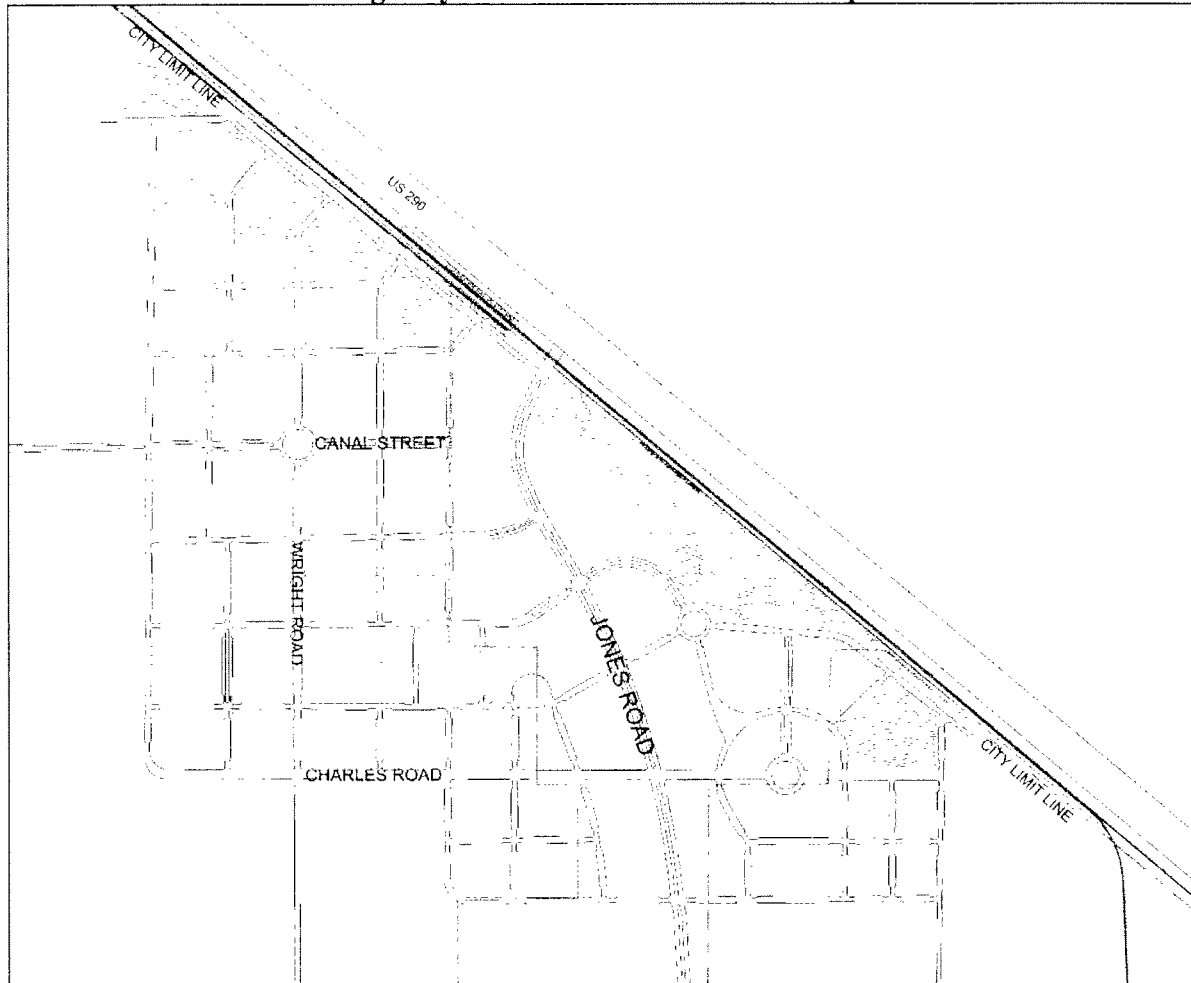
#9 - Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line.

#10 - Required parking may be provided anywhere within the TOD Mixed Use Zone.

#11 - Chapter 14, Article 11 of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.

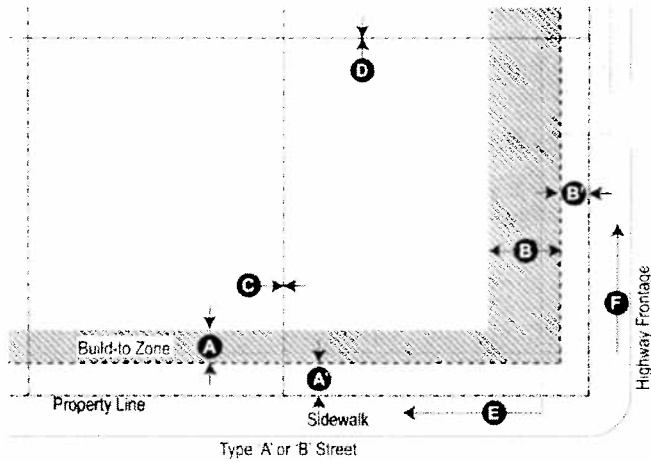
7.3 Highway Mixed Use

Highway Mixed Use Zone Location Map



Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements

7.3.1 Building Placement



Legend

Property Line	Building Area	Build-to Zone
Setback Line	Landscape Zone	Sidewalk

**Build-To Zone (BTZ)
(Distance from Property Line to edge of the BTZ)**

Front (Type 'A' or 'B' Street/Civic Space)	5 feet – 10 feet (see #1)	A
Front (Highway Frontage)	10 feet – 75 feet (see #2)	B

**Setback
(Distance from property line)**

Front (Type 'A' or 'B' Street)	5 feet (min.)	A'
Front (Highway Frontage)	10 feet (min.) – 75 feet (max.)	B'
Side (distance from property line)	0 feet (see #3)	C
Rear (distance from property line)	0 feet (see #3)	D

Building Frontage

Building Frontage required along Type 'A' Street BTZ	80% (min.) (see #3 and #7)	
Building Frontage required Type 'B' Street BTZ	25% (min.) (see #3 and #7)	E
Building Frontage required along Highway Frontage BTZ	25% (min.) (see #3 and #7)	F

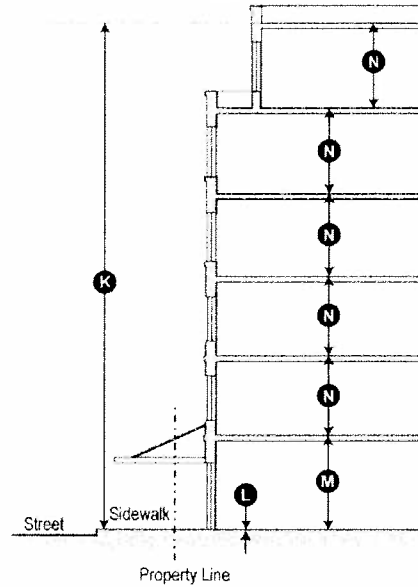
7.3.2 Block Standards

Block face dimensions	250 (min.) – 600 feet (max.)
Block perimeter	2000 feet (max.)

7.3.3 Commercial Frontage Requirements

Ground floors of all buildings fronting on US 290/Hempstead Managed lanes shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

7.3.4 Building Height



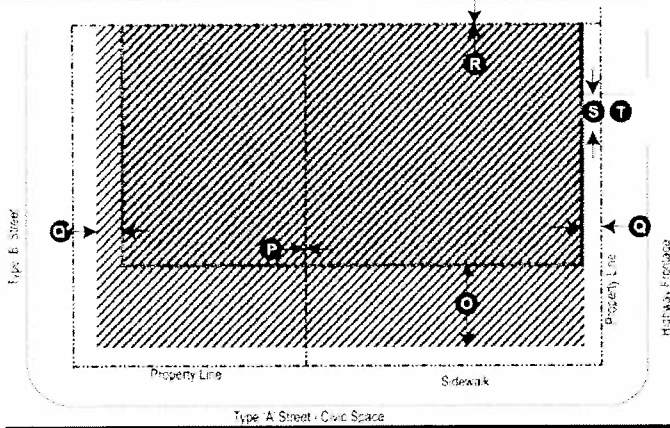
Principal Building Standards

Building maximum	6 stories (see # 5 and #8)	K
First floor to floor height	15 feet min. (see #6)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)	L
Upper floor(s) height (floor-to-floor)	10 feet min.	N

Notes

- #1 – Along Type 'A' and 'B' Streets, the area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 – Along the Highway Frontage, the area between the building and property line at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average). However, at street intersections, where paving is optional up to 50' along the building façade, tree wells may be used for street trees. Species of the street trees shall be selected from the Planting List in Appendix C of this Code.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – Corner building street facades shall be built to the BTZ for a minimum of 20 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.
- #5 – First floor heights shall not apply to parking structures.
- #6 – All buildings in the Highway Mixed Use shall meet the Building Design Standards in Section 8.
- #7 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.

7.3.5 Parking & Service Access



Legend

- - - Property Line
- - - Parking Setback
- Surface/At Grade Parking Area
- /// Above Grade Parking Area
- Building Footprint

(i) Parking Location

Surface/At Grade Parking

Highway Frontage	Shall be located 10' behind the property line	Q
Type 'A' Street	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building façade line along that street	Q*
Side setback (distance from property line)	0 feet min.	P
Rear setback (distance from property line)	0 feet min.	R

Above Grade Parking

Setback along Type 'A' Street, Type 'B' Street, Slip Road Frontage and Civic Space	At or behind the building façade line along that street
Highway frontage, side and rear setbacks	At or behind the building façade line along that street

(ii) Required Off-Street Parking Spaces (see #11 and #12)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.5 space/unit

(iii) Driveways and Service Access

Parking driveway width	TXDOT standards on Highway frontage road and 20 feet max. on all Jersey Village Crossing Streets (except when drives may need to be wider to address service access or fire lane standards)	S
------------------------	---	----------

Porte cocheres may be permitted on Type 'A' Streets to provide drop-off and valet service. **T**

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

If driveway and/or off-street service loading and unloading access is provided from Type 'A' Streets, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.

7.3.6 Encroachments

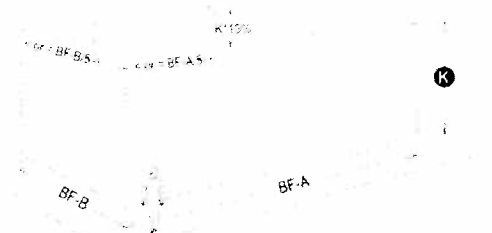
Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.3.7 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

#8 - Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



#9 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#10 - Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line.

#11 - Required parking may be provided anywhere within the Highway Mixed Use Zone.

#12 - Chapter 14, Article 11 of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.

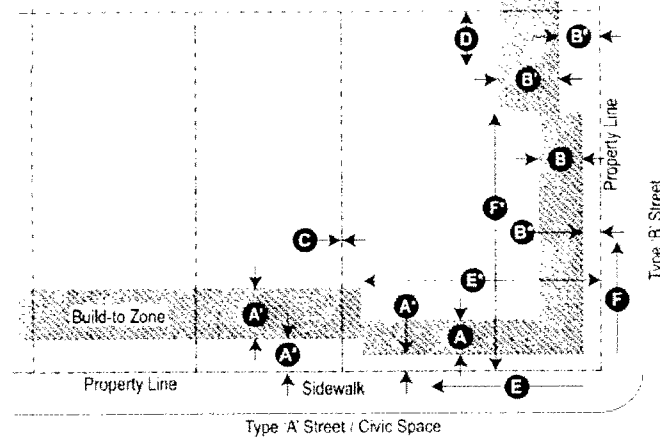
7.4 TOD Neighborhood Zone

TOD Neighborhood Zone Location Map

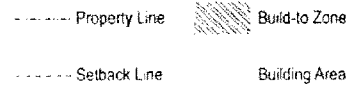


Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements

7.4.1 Building Placement



Legend



**Build-To Zone (BTZ)
(Distance from property line to edge of the BTZ)**

Corner Lots:

Front (Type 'A' Street and Civic Space)	5 – 10 ft. (see #2)	A
Front (Type 'B' Street)	5 – 10 ft. (see #2)	B
Width of intersection (corner lot) build-to zone (both Type 'A' and 'B' Streets)	25 ft. (min.) 50 ft. (max.)	E* F*

Interior Lots:

Front (Type 'A' Street and Civic Space)	10 – 25 ft.	A#
Front (Type 'B' Street)	10 – 25 ft.	B#

Setback (Distance from property line)

Front (Type 'A' Street) (Corner Lots)	5 ft. (min.) – 10 ft. (max)	A*
Front (Type 'A' Street) (Interior Lots)	10 ft. (min.) – 25 ft. (max)	A#
Front (Type 'B' Street) (Corner Lots)	5 ft. (min.) – 10 ft. (max)	B*
Front (Type 'B' Street) (Interior Lots)	10 ft. (min.) – 25 ft. (max)	B#
Side	0 ft. (see #1)	C
Rear	10 ft.	D

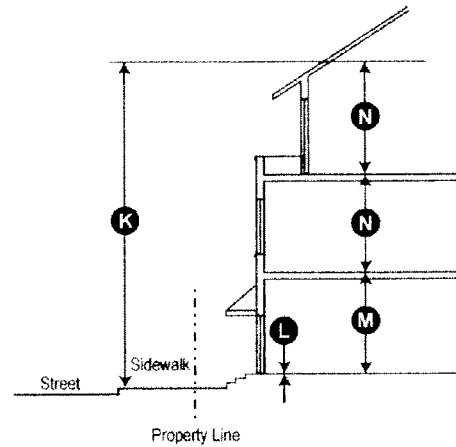
Building Frontage

Building Frontage required along Type "A" Street/Civic Space BTZ	60% (min.) (see #3 and #6)	E
Building Frontage required along Type "B" Street BTZ	30% (min.) (see #3 and #6)	F

7.4.2 Block Standards

Block face dimensions	300 – 600 ft. (maximum)
Block perimeter	2000 ft. (maximum)

7.4.3 Building Height



Principal Building Standards

Building maximum	3 stories (see #4 and #7)	K
First floor to floor height	15 ft. min. for non-residential 10 ft. min for residential	M
Ground floor finish level	12 in. max. above finished sidewalk (for ground floor non-residential uses); 18 in. min. (for residential uses)	L
Upper floor(s) height (floor-to-floor)	10 ft. min.	N

Accessory Building Standards

Building maximum	2 stories
------------------	-----------

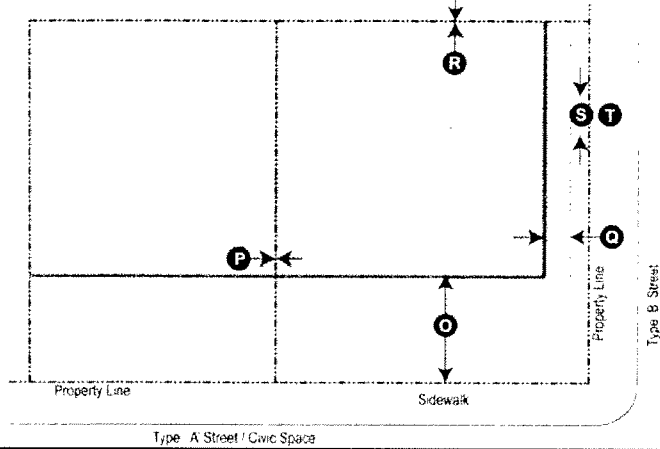
7.4.4 Commercial Frontage Requirements

Ground floors of all buildings at intersections, for a minimum of 30 ft. along each street frontage, may be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

Notes

- #1 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #2 – Along Type 'A' and 'B' Street corner lots, the area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #3 – Corner building street facades must be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is lesser.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.
- #5 – All buildings in the TOD Neighborhood Zone shall meet the Building Design Standards in Section 8.
- #6 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.

7.4.5 Parking & Service Access



Legend

----- Property Line Surface/At Grade Parking Area
□ Parking Setback	▭ Building Footprint

(i) Parking Location

Surface/At Grade Parking (Distance from property line)

Type 'A' Street and Civic Space setback	25 ft.	O
Type 'B' Street setback	10 ft.	Q
Side setback	0 ft.	P
Rear setback	5 ft.	R

(ii) Required Off-Street Parking Spaces (see #10)

Non-residential uses	1 space/300 sq. ft. (gross)
Residential uses	1.5 space/unit

(iii) Driveways and Service Access

Parking driveway width	20 ft. max. (except when drives may need to be wider to address service access or fire lane standards)	S
------------------------	--	----------

Driveways and off-street loading and unloading shall not be located on a Type 'A' Streets. **T**

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

7.4.6 Encroachments

Corner Lots: Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 ft. In no case shall an encroachment be located over an on-street parking or travel lane.

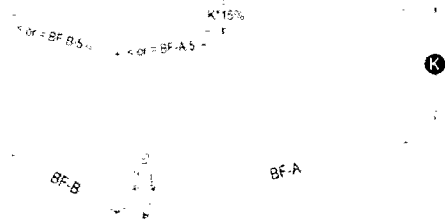
Interior Lots: Porches, stoops, awnings, signs, balconies, bay windows and other architectural features may encroach into required setback areas, provided they do not encroach over the front property line.

7.4.7 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

#7 - Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



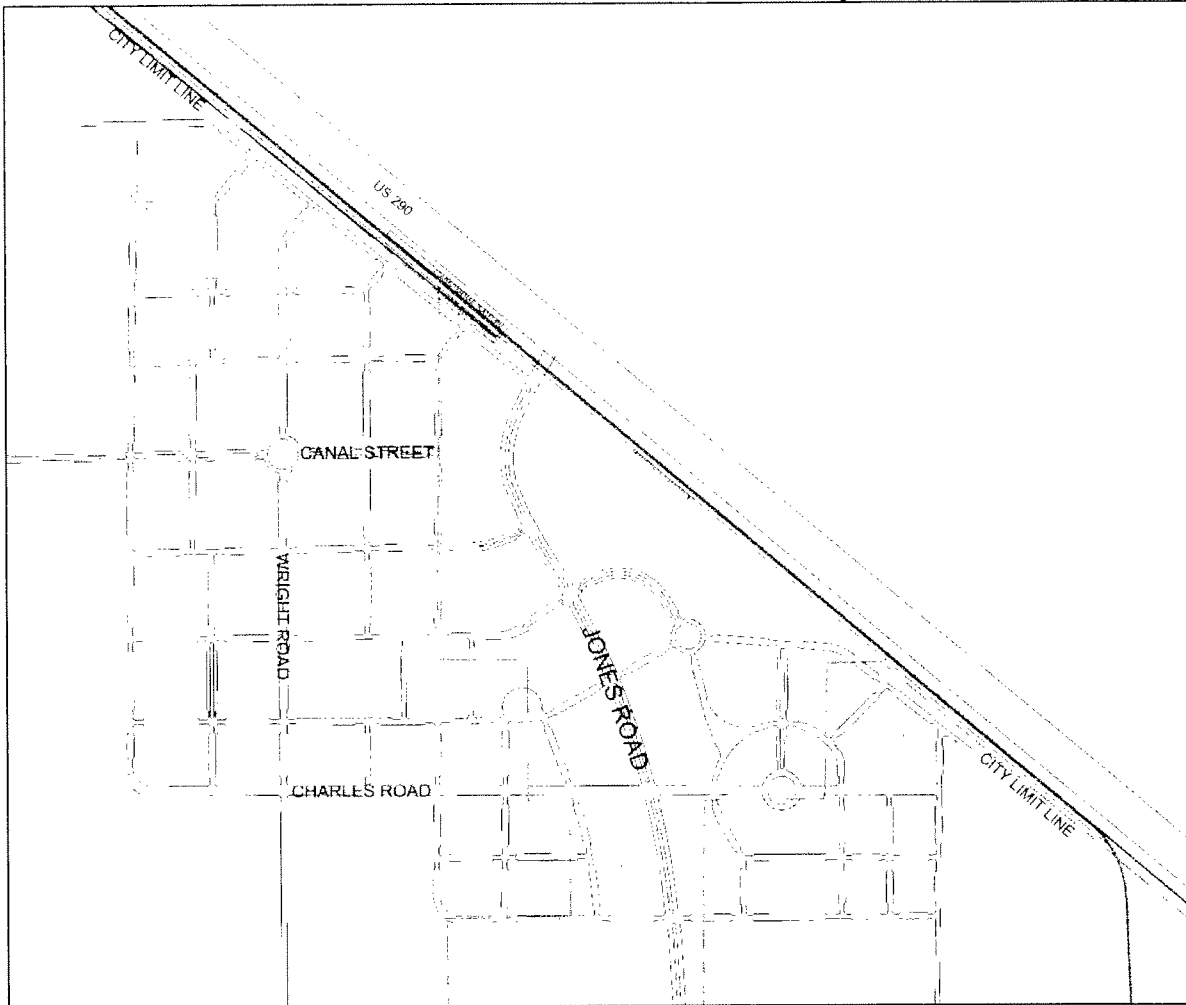
#8 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no higher than 42", the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#9 - Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the front of façade with the recessed entry or arcade.

#10 - Chapter 14, Article 11 of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.

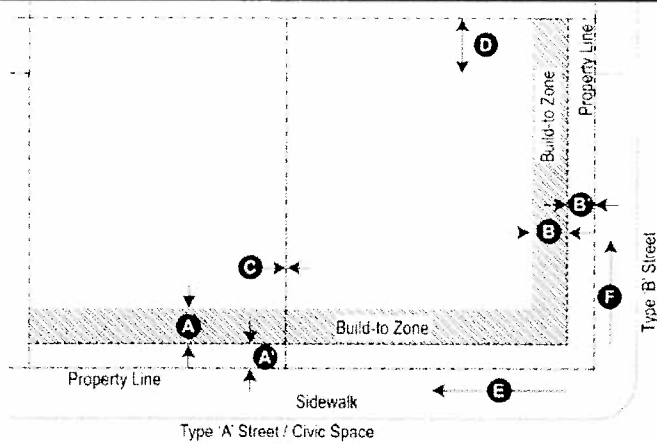
7.5 TOD Transition Zone

TOD Transition Zone Location Map



Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements

7.5.1 Building Placement



Legend

- Property Line
- Setback Line
- Build-to Zone
- Building Area

Build-to Zone (BTZ)

(Distance from property line to edge of the zone)

Front (Type 'A' Street / Civic Space)	5' – 15'	A
Front (Type 'B' Street)	5' – 15'	B

Setback (Distance from the property line)

Front (Type 'A' Street / Civic Space)	5' (min.) 15' (max.)	A
Front (Type 'B' Street)	5' (min.) 15' (max.)	B
Side	0' (min.) (see #1)	C
Rear	5' (min.) 10' (min. next to TOD Neighborhood Zone)	D

Building Frontage

Building Frontage required along Type 'A' Street/civic space BTZ	60% (min.) (see #2 and #5)	E
Building Frontage required along Type 'B' Street BTZ	25% (min.) (see #2 and #5)	F

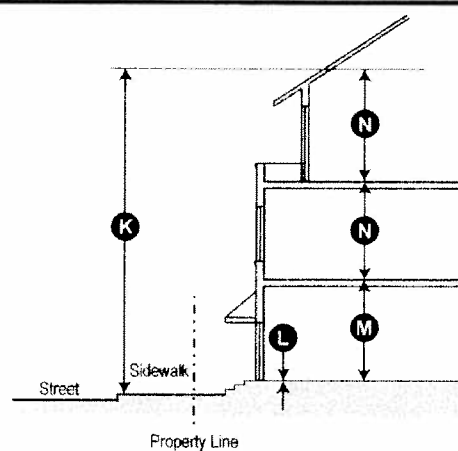
7.5.2 Block Standards

Block face dimensions	600 ft. (maximum)
Block perimeter	2000 ft. (maximum)

7.5.3 Minimum Retail Frontage Requirements

Ground floors of all buildings fronting on Type 'A' Streets shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

7.5.4 Building Height



(i) Principal Building Standards

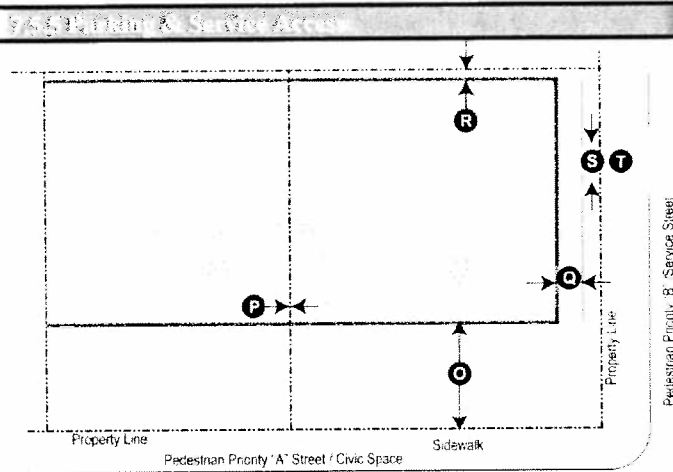
Building minimum	None	
Building maximum	3 stories (see #4 and #6)	K
First floor to floor height (along Type 'A' Streets)	15' (min.) (see #3)	M
First floor to floor height (fronting on all other streets)	10' min.	M
Ground floor finish level	12 in. max. above sidewalk (for ground floor commercial buildings and along Type 'A' Streets); 18 in. min. (for ground floor residential uses)	L
Upper floor(s) height	10' min.	N

(ii) Accessory Building Standards

Building maximum	2 stories
------------------	-----------

Notes

- #1 – Side setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #2 – Corner building street facades must be built to the BTZ for a minimum of 25' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #3 – First floor heights shall not apply to parking structures.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.
- #5 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.



Legend

- Property Line
- Surface Parking Area
- Parking Setback
- Building Footprint

(i) Parking Location (distance from property line)

Type 'A' Street setback	Behind the principal structure on the lot or a minimum of 25' (whichever is greater)	O
Type 'B' Street setback	Min. of 3' behind the building facade line along that street	Q
Side setback	0' min.	P
Rear setback	0' min.	R

(ii) Required Parking Spaces (see #9)

Non-residential uses	1 space/300 sq. ft. (gross)
Residential uses	1.5 space/unit

(iii) Driveways and Service Access

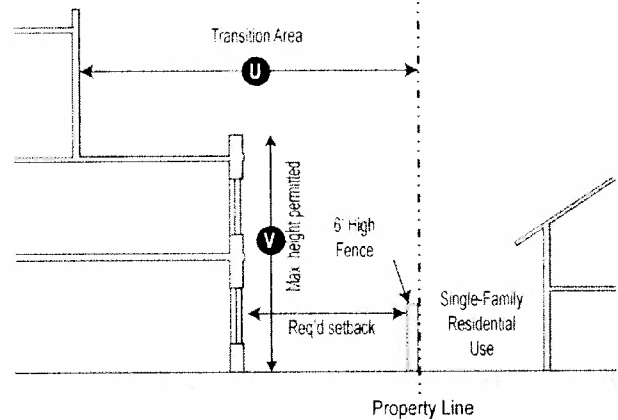
Parking driveway width	24' max. (at the throat)	S
Driveways and off-street loading and unloading shall not be located on a Pedestrian Priority "A" or "B" Street unless the property has no feasible access to either a vehicular alley or a Service Street.		

74.3.6 Encroachments

Corner Lots: Canopies, signs, awnings, galleries, and balconies may encroach over the R-O-W/sidewalk as long as the vertical clearance is a minimum of 8 ft. and the encroachment does not exceed 50% of the required sidewalk width. In no case shall an encroachment be located over an on-street parking or travel lane.

Interior lots: Porches, stoops, awnings, signs, galleries, balconies, bay windows and other architectural features may encroach into required yards, provided they do not encroach over the front property line.

74.3.7 Residential Transition Standards



The following applies to all buildings located adjacent to any residential use.

Transition Area	25' (min.)	U
Max. Building Height at within Transition Area	2 stories	V

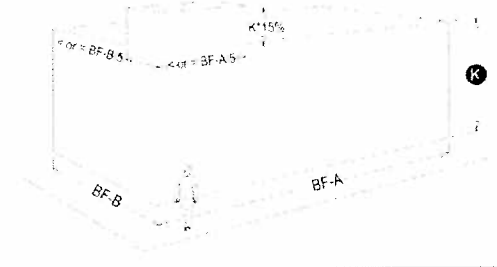
A 6 ft. high fence shall be installed at the property line adjacent to the residential use.

74.3.8 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

#6 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



#7 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no higher than 42", the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#8 – Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the front of façade with the recessed entry or arcade.

#9 – Chapter 14, Article 11 of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.

Section 8. Building Design Standards

The Building Design Standards for Jersey Village Crossing shall establish a coherent urban character and encourage enduring and attractive development. Development plans shall be reviewed by the City Manager or designee for compliance with the standards below.

The key design principles establish essential goals for development in Jersey Village Crossing to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Character Zones

8.1.1 Building Orientation

- i. Buildings shall be oriented towards Type 'A' Streets, where the lot has frontage along Type 'A' Streets. All other buildings shall be oriented towards Type 'B' Streets or Civic Spaces.
- ii. Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- iii. All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

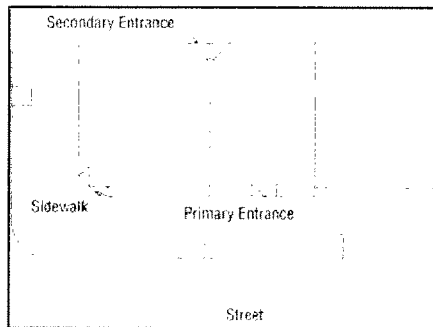


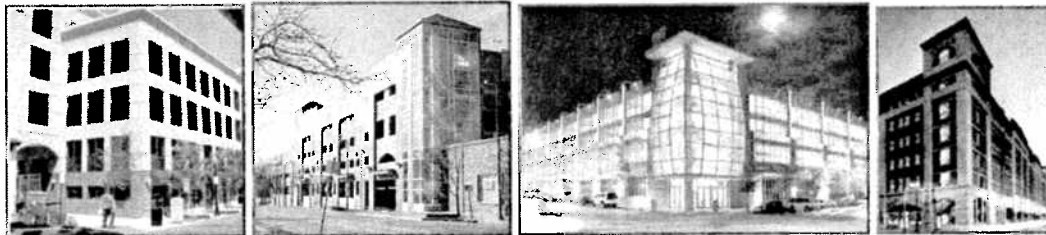
Figure showing required building orientation and location of primary entrances

8.1.2 Design of Parking Structures

- i. All frontages of parking structures located on Type 'A' Streets shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Type 'A' Street frontage. If the frontage is along a designated Main Street Frontage, then the Main Street Frontage requirement shall supersede.

- ii. The amount of Type 'A' Street frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) of the parking structure along the Type 'A' Street edge(s).
- * iii. Parking structure façades on all Type 'A' Streets shall be designed with both vertical (façade rhythm of 20 feet to 30 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- iv. Where above ground structured parking is located at the perimeter of a building with frontage along a Type 'A' Street, it shall be screened in such a way that cars on all parking levels are completely hidden from view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ramps shall not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- v. When parking structures are located at street intersections, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- * vi. Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles. *add picture*

*Define
façades*



Images showing appropriate design of Parking Structures

8.1.3 Design of Automobile Related Building Site Elements

- i. Drive-through lanes for commercial uses shall not be located along any Type 'A' Street. Drive-through lanes shall be hidden behind a Street Screen along the Type 'B' Street frontage.
- ii. All off-street loading, unloading, and trash pick-up areas shall be located along alleys or Type 'B' Streets only unless permitted in the specific building form and development standards in Section 7. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

8.1.4 Roof Form

- * i. Buildings shall have simple, flat fronts with minimal articulations with flat or low pitched roofs with parapets. Corner hip roof elements and gable accents at the parapet may be permitted. Projecting mansard roofs shall not be permitted.

A lot of examples have mansard roofs



Images of appropriate building and roof forms in Jersey Village Crossing

*Update photos or allow mansard roofs
Change pictures*

8.1.5 Façade Composition

- i. Buildings shall maintain a façade rhythm of 20 feet to 30 feet along all Type 'A' Streets.
- ii. This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- iii. Buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.

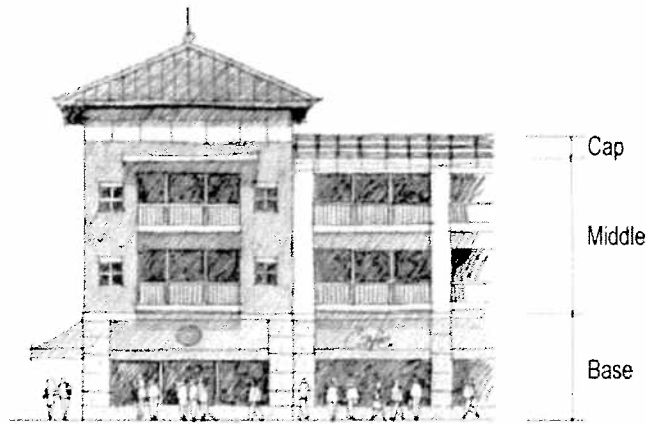


Image of Tri-Partite Architecture

- iv. An expression line or equivalent architectural element shall delineate the Base and Cap of all buildings. A Cornice shall delineate the caps of facades that do not utilize a pitched roof.
- v. For retail storefront buildings, a transom, display window area, and bulkhead at the base shall be utilized.

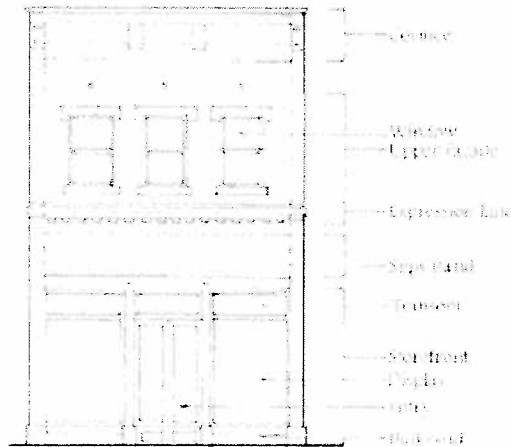


Image of a typical storefront

- vi. Storefronts on facades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.
- vii. Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural

- style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- viii. Buildings shall generally maintain the alignment of horizontal elements along the block.
 - ix. Corner emphasizing architectural features, pedimented gabled parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.



Buildings with architectural features and storefront elements that add interest along the street.

- x. Buildings which are located on axis with a terminating street or at the intersection of streets shall be considered as feature buildings. Such buildings shall be designed with features which take advantage of that location, such as an accentuated entry and a unique building articulation which is off-set from the front wall planes and goes above the main building eave or parapet line.

8.1.6 Windows and Doors

- i. Windows and doors on street (except alleys) fronting facades shall be designed to be proportional and appropriate to the specific architectural style of the building. First floor windows shall NOT be opaque, tinted or mirrored glass.
- ii. All ground floor front facades of buildings along Type 'A' Streets or Civic/Open Space shall have transparent storefront windows covering no less than 60% of the façade area. Each upper floor of the same building facades facing a Type 'A' Street or Civic/Open Space shall contain transparent windows covering at least 40% of the façade area. All other street facing facades (except alleys) shall have transparent windows covering at least 20% of the façade area for all floors.



Images showing appropriate storefront display and transparency

8.2 Standards Specific to Development in the TOD Core, TOD Mixed Use, and Highway Mixed Use Zones

8.2.1 Commercial and Mixed Use Building Materials

- i. At least 80% of each building's façade (excluding doors and windows) fronting along any Type 'A' Street, Jones Road, and US 290/Hempstead Managed Lanes shall be finished in one of the following materials:

- ~~Masonry~~ (brick, stone, stucco utilizing a three-step process, cast stone, rock, ~~marble, granite~~, curtain glass, or glass block)

- ii. No more than 20% of each façade along any Type 'A' Street, Jones Road, and US 290/Hempstead Managed Lanes shall use accent materials such as wood, architectural metal panel, split-face concrete block, tile, or pre-cast concrete panels. EIFS shall not be permitted on building frontages along any Type 'A' Street or Jones Road or US 290/Hempstead Managed Lanes.

Clarity question @ CMU



Images showing appropriate building materials within TOD Core, TOD Mixed Use, and Highway Mixed Use Character Zones.

- iii. All facades along Type 'B' Streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above. EIFS shall not be permitted along any ground floor facades along Type 'B' Streets and ground floor facades of alleys. Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only.
- iv. Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.

8.3 Standards Specific to Development in the TOD Transition Character Zone:

8.3.1 Commercial and Mixed Use Building Materials

- i. The following shall be permitted finishes for all street fronting facades (except service streets or alleys) of all buildings. No more than three different materials shall be used on any single facade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - Lap-sided wood;
 - Masonry (brick; stone; man-made stone, or stucco utilizing a three-step process);
 - Tilt-up concrete panels that have a grid like appearance;
 - Split face concrete block or pre-cast, or poured in place concrete; and
 - Architectural metal panels.



Images showing appropriate building materials within TOD Transition Character Zone.

- ii. Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the City Manager subject to appeal to City Council.
- iii. The following may only be allowed up to 40% as an accent material:
 - Exterior Insulating Finishing System (EIFS), or similar material over a cementitious base, rock, glass block and tile.
 - Other metal finishes
- iv. Side and rear facades shall be of finished quality and of the same color and materials that blend with the front of the building.

8.4 Standards Specific to Development in the TOD Neighborhood Character Zone:

8.4.1 Building Orientation

- i. Garages for Residential Buildings shall be located on alleys at the rear of residential buildings; pull-through garages are allowed if the garage door is set back behind the rear façade of the main structure. If front-loaded garages or carports are utilized on residential uses, the garages and carports shall be no greater than 12 feet wide and set back at least 20 feet measured from the face of the main structure closest to the garage/carport or rotated 90 degrees with windows on the wall facing the street. On corner lots, the garage may be rotated with windows facing the primary street with driveway access from the secondary street.
- ii. All garage doors shall be divided into single bays separated by at least a 16-inch pier or column. Front-loaded garages on residential lots less than 40 feet wide shall not be allowed. Town homes and courtyard apartments shall utilize rear-loaded garages.

8.4.2 Building Massing and Scale

- i. Residential buildings shall have few, if any, articulations and simple roofs (gable, hip, combination) with most building wing articulations set at the rear of the structure. Window projections, bay windows, stoops, porches, balconies, and similar extensions shall be exempt from this standard.
- ii. Gable roofs, if provided for residential buildings, shall have a minimum pitch of 5/12. When hipped roofs are used, the minimum pitch shall be 5/12. Other roof types shall be appropriate to the architectural style of the building. Porch roofs may be a minimum pitch of 3/12.
- iii. Projecting mansard roofs shall be prohibited.



Images showing appropriate massing and scale for Residential Buildings

8.4.3 Façade Composition

- i. Buildings shall maintain a façade rhythm of 20 feet to 30 feet along Type 'A' Streets. This rhythm may be expressed by changing materials, or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.

- ii. At least one of the following -- porches, stoops, eaves or balconies -- shall be added along the front residential facades to add pedestrian interest along the street.
- iii. For residential buildings the grade of the slab or first floor elevation shall be elevated at least 18 inches above the grade of the sidewalk.
- iv. Alley and/or Type 'B' Street facing facades shall be of finished quality and of the same color that blend with the front of the building.



Residential buildings with porches, balconies, and stoops to add interest along the street.

8.4.4 Windows and Doors

- i. Windows and doors shall be designed to be proportional and appropriate to the architectural style of the building.
- ii. Windows may have jack arch, keystone arch, flat arch, or ornamental arches.
- iii. All building facades of residential buildings fronting on all streets or civic spaces, except alleys, shall have transparent windows covering at least 30% of each façade.



Images showing appropriate window designs and proportions.

8.4.5 Residential Building Materials

- i. At least 80% of the Type 'A' Street facing facades of all buildings (excluding doors and windows) shall be finished in one or more of the following materials. No more than three different materials shall be used on any single residential façade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty.
 - Masonry (brick; stone; man-made stone, or stucco utilizing a three-step process).
- ii. The following may only be allowed up to 20% as an accent material:
 - Architectural metal panels or similar material over a cementitious base, rock, glass block and tile.
- iii. EIFS shall not be permitted along any Type 'A' Street facades.
- iv. Side and rear facades shall be of finished quality and of the same color that blend with the front of the building. Ground floor side and rear facades shall not be EIFS.
- v. Roofing materials (visible from any public right-of-way): copper, factory finished painted metal, slate, synthetic slate, terra cotta, and asphalt shingles (laminated and classified as being at least 300 pounds/100 sf.).

*Differences
b/w stone
& rock*

- vi. An enclosed garage or carport shall be designed and constructed of the same material as the primary building.

Section 9. Street & Streetscape Design Standards

- 9.1 Generally: Streets in Jersey Village Crossing need to support the overall goal of a mixed use, compact, pedestrian oriented district. They should balance all forms of mobility while maximizing convenience for residents and visitors.

The Regulating Plan designates the required and recommended street network within Jersey Village Crossing. This section specifies the typical configuration of streets within Jersey Village Crossing. The specifications address vehicular lane width, parkway widths, right-of-way (R.O.W) widths, number of travel lanes, on-street parking, and pedestrian accommodation. The character of streets in Jersey Village Crossing will vary based on the location. The service roads of the Hempstead Managed Lanes and US 290 are under the purview of TxDOT while the remaining streets are city streets.

- 9.2 New Streets: This section specifies standards for all new streets in Jersey Village Crossing. New streets shall be based on the Mandatory or Non-Mandatory designation on the Regulating Plan.

- 9.3 Street Classification Established: Table 9.1 and associated cross sections shall establish the cross sections for each street type. The cross sections may be adjusted to fit existing contexts with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

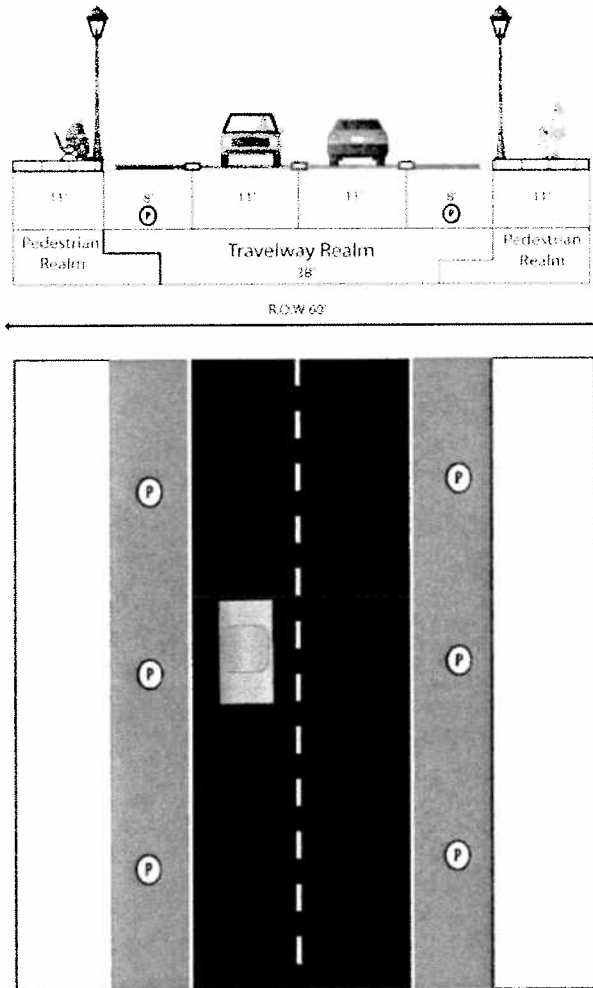
Table 9.1

Elements Street Classification	Street Width (Recommended minimum)		Number of Vehicular Lanes	Vehicular Lane Widths	Turn Radius (max.)	On-Street Parking	Pedestrian Sidewalk Width (min.) (includes any easement)	Parkway/ Tree Well
	R.O.W	Pedestrian Easement (on each side)						
TOD Main Street	60 feet	5 feet	2	11 feet	15 feet	Yes, both sides, parallel	16 feet	Tree Well, 5 X 5 feet min.
TOD General Street	60 feet	0 feet	2	11 feet	20 feet	Yes, both sides, parallel	6 feet	Parkway, 5 feet min.
Canal Street	100 feet	0 feet	2 + bike lanes	13 feet	20 feet	Yes, both sides, parallel	8 feet	Parkway, 5 feet min.
Mixed Use Avenue	70 feet	0 feet	3	11 feet	20 feet	Yes, both sides, parallel	10 feet	Tree Well, 5X5 feet
Urban Avenue	80 feet	0 feet	4	13/11 feet	30 feet	None	10 feet	Parkway, 5 feet min. width
Suburban Boulevard	100 feet	0 feet	4	13/11 feet	30 feet	None	8 feet	Parkway, 5 feet min. width
Commercial Alley	26 feet	None	N/A	N/A	25 feet	Yes, one side parallel	None	None
Residential Alley	12 feet	None	N/A	12 feet	20 feet	None	None	None

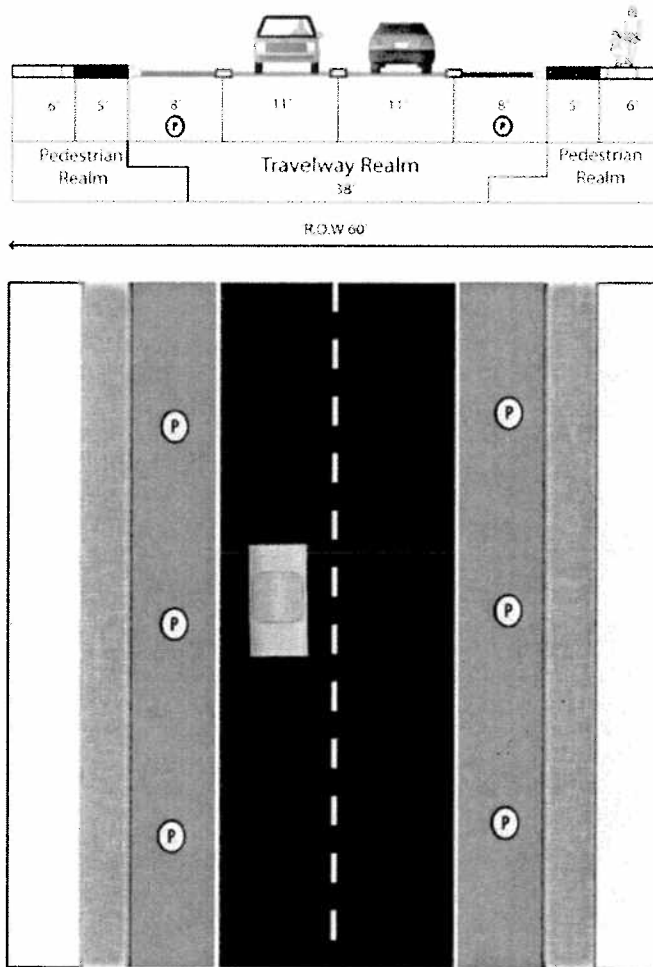
**NO comment from City on roads
so assume this is ok.*

9.4 Street Cross Sections

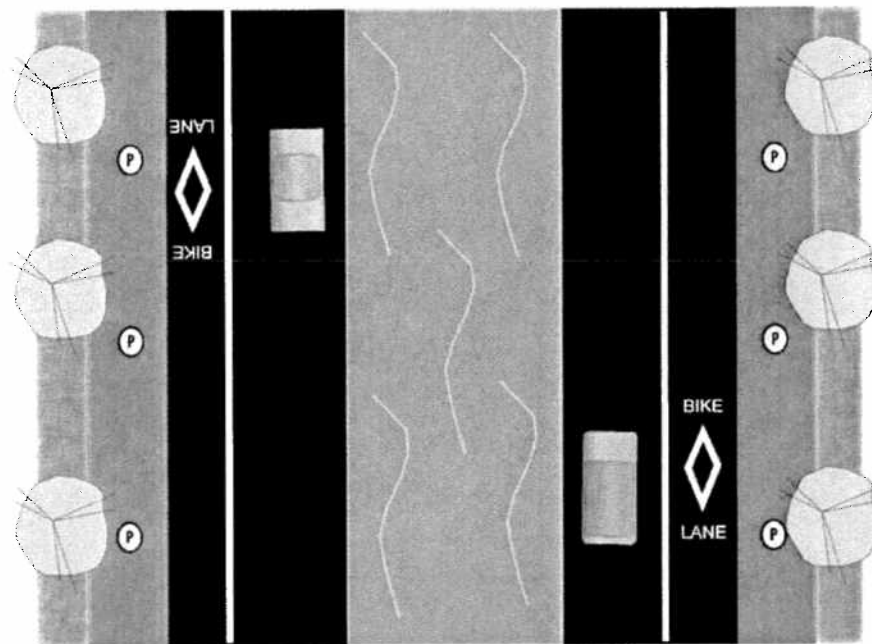
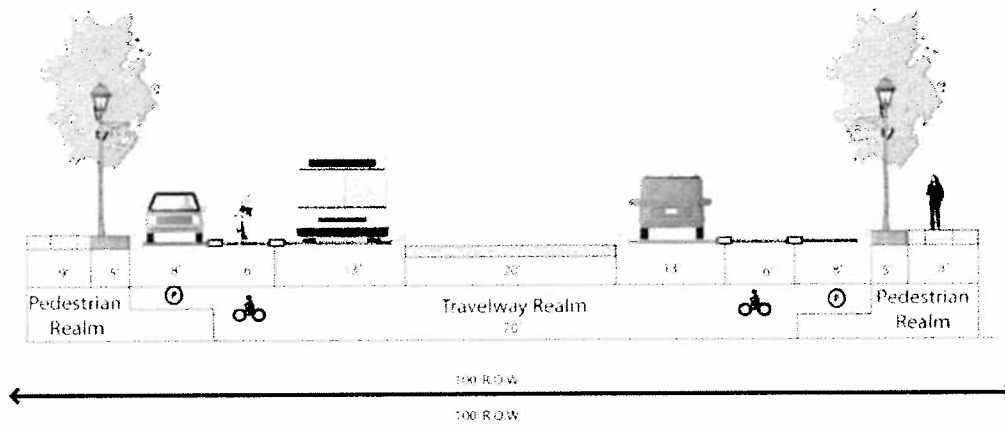
9.4.1 TOD Main Street



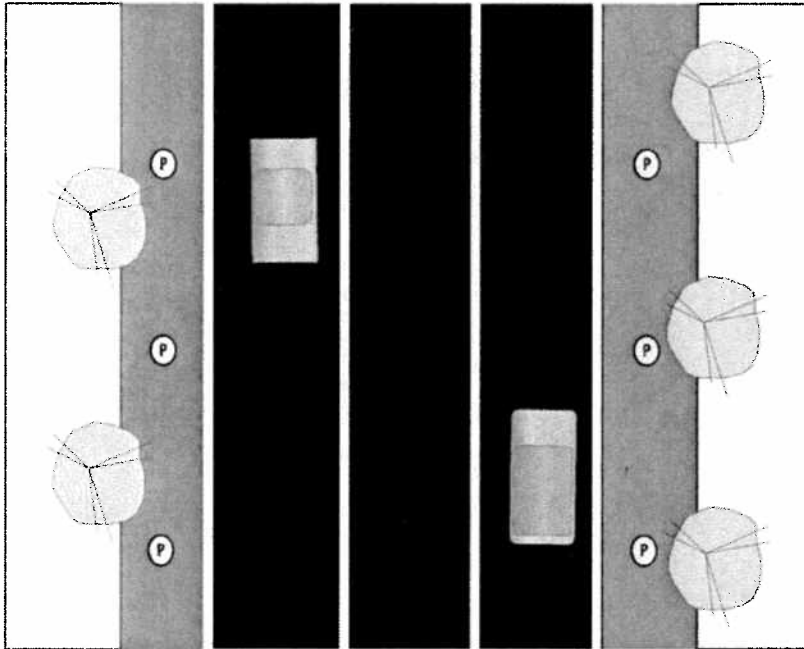
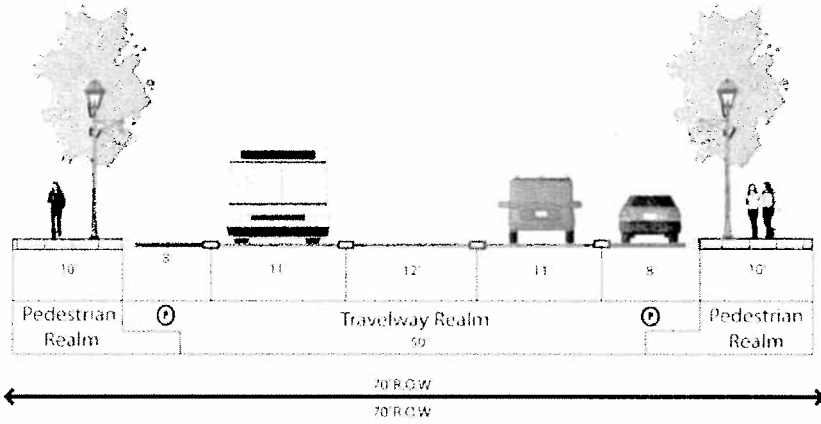
9.4.2 TOD General Street



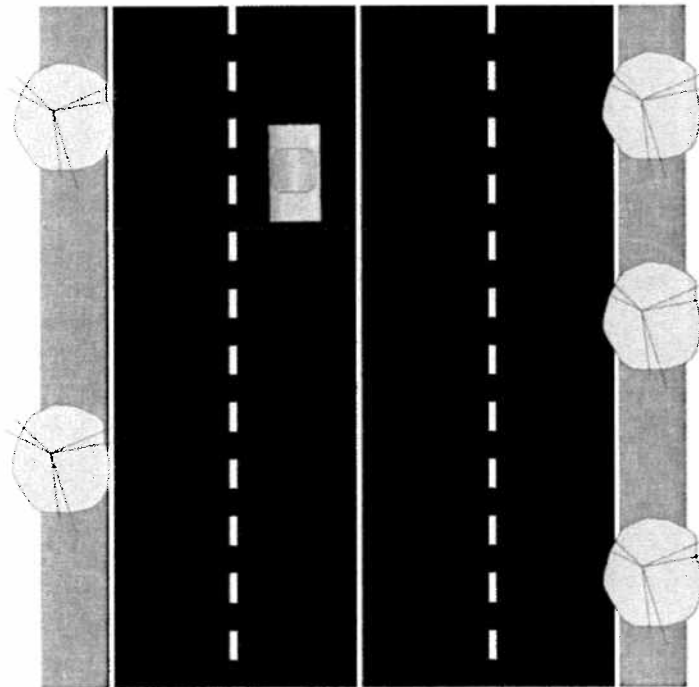
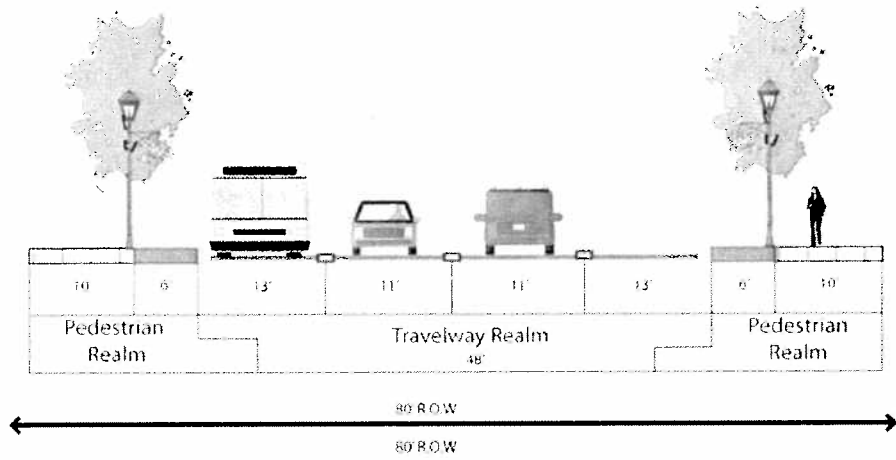
9.4.3 Canal Street



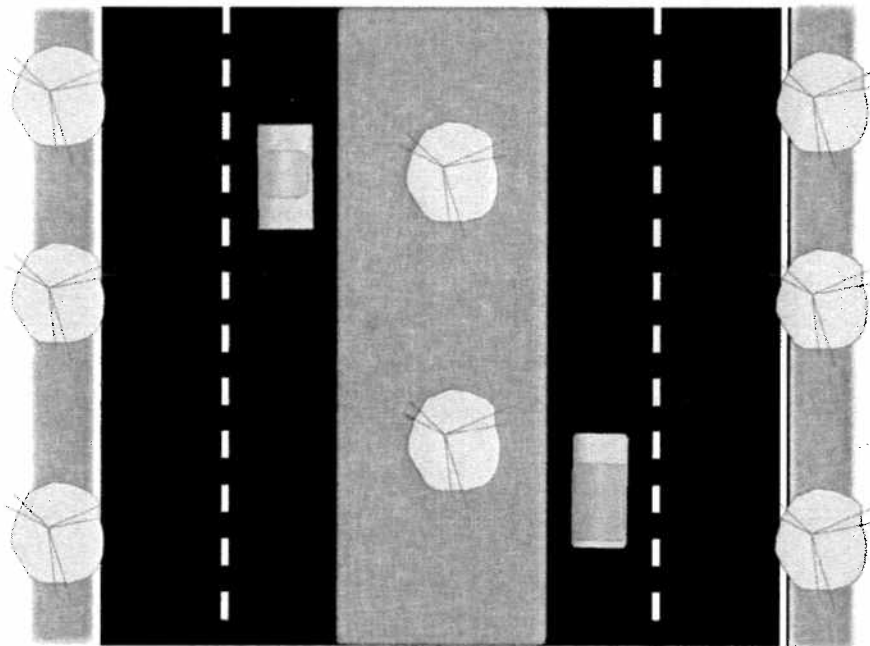
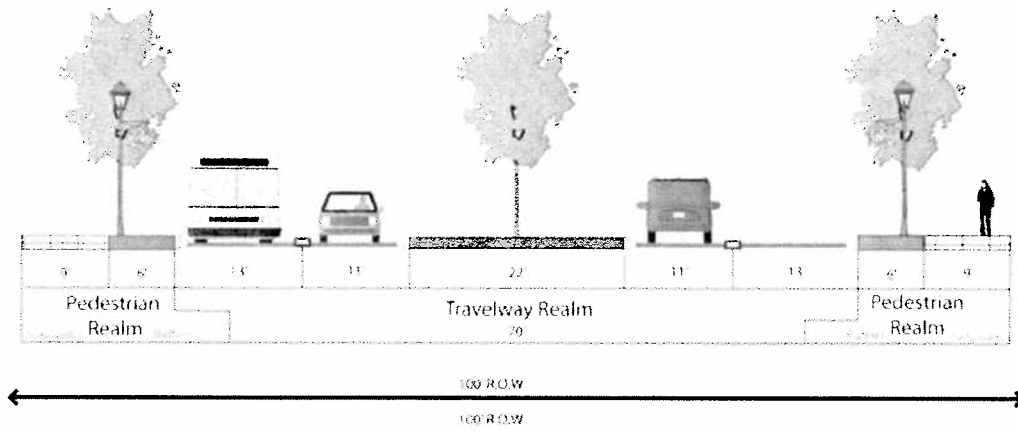
9.4.4 Mixed Use Avenue



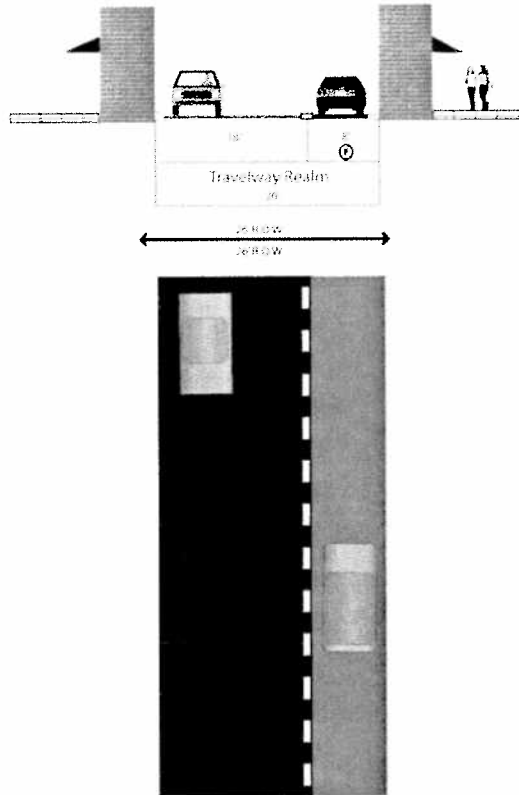
9.4.5 Urban Avenue



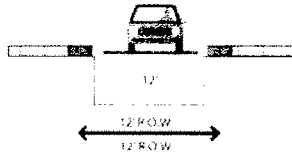
9.4.6 Suburban Boulevard



9.4.7 Commercial Alley



9.4.8 Residential Alley



9.5 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets within Jersey Village Crossing. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all streetscape shall be by the City of Jersey Village.

9.6 Street Trees and Landscaping:

9.6.1 Street trees shall be required on all Jersey Village Crossing streets (except on alleys).

9.6.2 Street trees shall be planted approximately 3 feet behind the curb line.

9.6.3 Spacing shall be an average of 40 feet on center (measured per block face) along all streets.

9.6.4 The minimum caliper size for each tree shall be 3 in. and shall be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 36 sq. feet. However, the tree well area may be no smaller than 25 sq.ft.

9.6.5 Along the Suburban Boulevard, trees shall be required in the median and spacing and species shall be the same as the trees in the parkway.

9.6.6 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof. Turf grass must be installed as solid sod and not seeded on.

9.6.7 Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance.

9.6.8 Maintenance of all landscape materials shall meet the requirements of Chapter 14, Article 12 of the Jersey Village Code of Ordinances.

9.6.9 Along arterials and highway access roads, street trees shall be planted within the required landscape parkway as per the City of Jersey Village Landscape Ordinance/Policies (Chapter 14, Article 12 of the Jersey Village Code of Ordinances).

9.7 Street Furniture, Lighting, and Materials:

9.7.1 Pedestrian scale lighting shall be required along all Jersey Village Crossing streets (except on alleys and highway access road). They shall be no taller than 20 feet.

9.7.2 Street lights shall be placed at 50 feet on center, approximately 3 feet behind the curb line.

9.7.3 The light standard selected shall be compatible with the design of the street and buildings.

9.7.4 Trash receptacles and bike racks shall be required along the TOD Main Street. A minimum of one each per block face shall be required.

9.7.5 Street furniture and pedestrian amenities such as benches are recommended along all Type 'A' Streets.

9.7.6 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.

9.7.7 Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

Section 10. Signage

Except as specifically listed below, all other signage and sign standards must comply with Chapter 14, Article 10 of the City of Jersey Village Code of Ordinances, as amended.

10.1 For new signs, the standards in Table 10.1 shall apply and sign permits shall be approved administratively by the City of Jersey Village Building Official or designee unless specifically noted in this section.

Add diagram
Clarity

Clarity
addition

In land
scap area

Define planting area

Standard
Requirements
Break out by
street type

Table w/ zone
street type
& candle foot

Table 10.1

Character Zone	TOD Core	TOD MU and TOD Transition	TOD Neighborhood	Highway MU	Standard
Sign Type					
Wall (Building) Signs	P	P	P (commercial and live-work uses only)	P	<ul style="list-style-type: none"> For all ground floor commercial uses (retail, office, and restaurant): One sign per tenant space; area to be calculated at 1.5 sq. feet per linear foot of public street frontage for the tenant space with a maximum of 100 sq. ft per tenant. Second and upper floor commercial uses may also be permitted one second floor wall sign per tenant space per public street frontage; area to be calculated at 1.5 sq. feet per linear foot of second or upper floor frontage along that public street with a maximum of 125 sq. feet. Institutional uses (non-profits and churches): One sign per tenant space; area to be calculated at 1.5 sq. feet per linear foot of public street frontage with a maximum of 100 sq. feet. Live-Work and Home occupations: One sign limited to an area of 20 sq. feet max. Building sign may encroach a maximum of 12" on to a sidewalk while maintaining a vertical clearance of 8 feet from the finished sidewalk. Building signs may be internally or externally lit. Marquee signs as only permitted as specified below.
Monument Signs	NP	P	P (commercial and live-work uses only)	P	<p>One monument sign per lot per lot street frontage (no more than 2 per lot separated by at least 100 feet) limited to a maximum of 60 sq. feet per sign face and 6 feet in height. → reference <i>reference current ordinance for placement</i></p> <p><i>Visual block near driveway</i></p> <p><i>Site line triangle</i></p>
Window Signs	P	P	P (commercial and live-work uses only)	P	<p>Limited to 20% of the window area.</p> <p>The following shall be exempt from this limitation:</p> <ul style="list-style-type: none"> Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now hiring signs; Mannequins and storefront displays of merchandise sold; and Interior directory signage identifying shopping aisles and merchandise display areas.
Building Blade Signs	P	P	P (commercial and live-work uses only)	NP	<ul style="list-style-type: none"> One per building (commercial and mixed use buildings only). Area = 30 sq. feet maximum per sign face. May encroach a maximum of 6 feet over a sidewalk, but shall not encroach over any parking or travel lane. Building blade signs may be attached to the building at the corners of building or along any street facing façade above the first floor facade.
Tenant Blade Signs	P	P	P (commercial and live-work uses only)	P	<ul style="list-style-type: none"> One per commercial tenant space (retail, office, or restaurant use). Area = 16 sq. feet maximum per sign face. May encroach a maximum of 4 feet over a public sidewalk, but shall not encroach over any parking or travel lane. Tenant blade signs shall be oriented perpendicular to the building façade and hung under the soffit of an arcade or under a canopy/awning or attached to the building façade immediately over the ground floor tenant space while maintaining a vertical clearance of 8 feet from the finished sidewalk.
Marquee Signs	P	P	NP	P	<ul style="list-style-type: none"> Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more. Marquee signs shall be attached to the building or located above or below a canopy only. Area = 100 sq. feet maximum. Message board may be changeable copy (electronic and non-electronic). Electronic message boards shall be non-flashing.

Character Zone	TOD Core	TOD MU and TOD Transition	TOD Neighborhood	Highway MU	Standard
Sign Type					
For sale/for lease signs	P	P	P	P	<ul style="list-style-type: none"> Size is limited to 32 sq. feet per sign face. All other standards are the same as City or Jersey Village Sign Regulations.
Address signs	P	P	P	P	Same as City of Jersey Village Sign Regulations.
Temporary construction signs	P	P	P	P	1 free standing sign per lot during construction only; limited to 32 sq. feet.
Banners	P	P	P	P	Same as City of Jersey Village Sign Regulations.
Sandwich board signs	P	P	P (commercial and live-work uses only)	NP	<ul style="list-style-type: none"> Permitted only for retail, service, or restaurant uses. Limited to 12 sq. feet per sign face per storefront. Sign may not exceed 4 feet in height. A minimum of 6 feet of sidewalk shall remain clear. Chalkboards may be used for daily changing of messages. Readerboards (electronic and non-electronic) shall be prohibited. Sign shall be removed every day after the business is closed.
Light Pole Banners	P	P	P	P	<ul style="list-style-type: none"> Permitted only with approval of the City. Max. 10 sq. feet per sign face. Limited to one per light pole. All light pole banners shall be approved by the appropriate utility company prior to consideration by the City. Light pole banners shall be limited to publicize community-wide events, holiday celebrations, public art, and other city sponsored events.
Directory signs	P	P	P (commercial and live-work uses only)	P	<ul style="list-style-type: none"> Shall be allowed for all multi-tenant commercial and mixed use buildings only. One directory sign per multi-tenant building limited to 12 sq. feet in area. Design of the sign shall be integral to the façade on which the sign is to be affixed.
Pole signs	NP	NP	NP	NP	May only be permitted as part of a Master Sign Plan.
LED Signs	NP	NP	NP	NP	<ul style="list-style-type: none"> Shall be covered by a lens or diffuser. May only be permitted where electronic message boards are permitted within Jersey Village Crossing. Or, may only be permitted as part of a Master Sign Plan.
Off-premise signs	NP	NP	NP	NP	

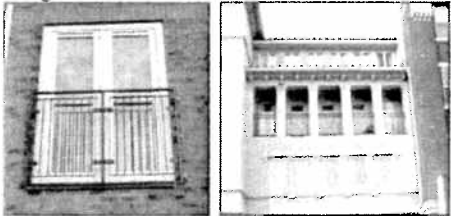

10.2 An applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the City Manager and are subject to approval of the City Council. In evaluating a Master Sign Plan, the City Council shall consider the extent to which the application meets the following:

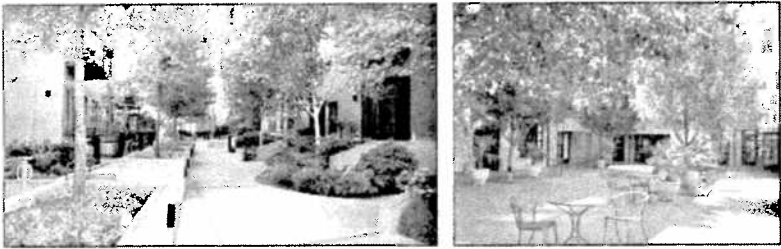



- 10.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;
- 10.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;
- 10.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and
- 10.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

Section 11. Civic Space and Private Open Space Standards

- 11.1 This chapter establishes the public Civic Space and private Open Space Standards for Jersey Village Crossing. The Regulating Plan designates several areas for different designated and recommended public Civic Space Types within Jersey Village Crossing. The detailed Civic Space Standards for each type are included in this Section. These standards include general character, typical size, frontage requirements, and typical uses.
- 11.2 Private Open Space Standards: Given the mixed use nature of development within the context of two transit stops, all residential development within Jersey Village Crossing shall meet the private open space standards established in this Section. Table 11.1 establishes the types of private open space permitted and Table 11.2 establishes the private open space requirement based on the proposed intensity of residential development.

Table 11.1 Private Open Space Types

<i>Private Open Space Type</i>	<i>Description and Image</i>	<i>Standards and criteria</i>
Balconies and patios	<p>Balcony is a platform projecting from a second or higher story interior or exterior wall of a building, usually enclosed for privacy and protection by a rail. A balcony usually has French or sliding glass doors leading out to it, and can be entered from a living room or bedroom.</p>  <p>Patio is an outdoor space for dining or recreation that adjoins a residence and is often paved. It may also be a roofless inner courtyard within a residence, typically found in Spanish and Spanish-style dwellings.</p> 	<p>Balconies that are not flush shall be a minimum of 5 feet clear in depth and a minimum of 8 feet in width</p> <p>Balconies may be semi-recessed or recessed. Projecting metal or slab balconies are only permitted if they have some means of visible support.</p> <p>Patios shall be a minimum of 100 sq. ft.</p> <p>Patios shall have a clear sense of enclosure and separation from the public realm.</p>
Courtyard	<p>A Courtyard is a landscaped open space in the center of the block with no street frontage, surrounded by walls or buildings on all sides. It shall be large enough to allow for public activities and have sunlight during midday. It should be designed to connect to adjacent buildings or to the public sidewalk through a pedestrian passage.</p>	<p>Courtyards shall be surrounded on all sides by buildings with at least one pedestrian connection to an adjoining building or public sidewalk.</p> <p>The courtyard shall be a minimum of 200 square feet.</p> <p>Courtyard may be landscaped or a combination of landscape and hardscape. However, they shall contain amenities for residents such as seating, water features, etc.</p>

		
<p>Forecourt</p>	<p>A Forecourt is similar to a Courtyard, however, it is located in the front of a building such that the forecourt is surrounded on two or three sides by wings of the building.</p> 	<p>A Forecourt shall be surrounded on at least two sides by buildings.</p> <p>A Forecourt shall be a minimum of 150 square feet.</p>
<p>Pedestrian Passage</p>	<p>A Pedestrian Passage is an intimate street level passage way for pedestrians from the interior of one block or building to a public sidewalk. These paths provide direct pedestrian access to residential addresses and create unique spaces for frontages to engage and enter off of. A pedestrian passage may be used to visually reduce the impact of a large development block. Building edges may accommodate active uses such as shops and restaurants. Pedestrian passages should consist of a hardscape pathway activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants.</p>	<p>The minimum width shall be 10 feet wide.</p>
		
<p>Playground</p>	<p>Playgrounds shall be permitted in parks and greens to provide open space designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided. Playground equipment and design must be reviewed and approved by the City prior to installation.</p> <p>A larger playground may be incorporated into the park, whereas a more intimate playground may be incorporated into the green.</p>	<p>Playgrounds shall be a minimum of 400 sq.ft.</p>
		

Community Garden	<p>A Community Garden is a small to medium size garden cultivated by members of an area for small scale agricultural uses for the benefit of the same people. It may consist of individually tended plots on a shared parcel or may be communal (everyone shares a single plot).</p>	<p>Maximum size shall be 1 acre</p> <p>Gardens shall be enclosed by a fence on all open sides.</p> <p>Fences should be installed straight and plumb, with vertical supports at a minimum of 8' on center. Chicken wire, if used, should be continuously supported along all edges.</p> <p>Fencing Materials: <u>Permitted</u>: pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel <u>Not permitted</u>: chain link, bobbed wire, vinyl, un-painted/stained pressure treated wood, plywood</p>
Roof terraces	<p>Roof terraces are flat areas on top of a building which are accessible for use as a recreation space for the residents and users of the building.</p>	<p>A Roof Terrace shall at least be 50% of the building footprint area. A Roof Terrace shall provide landscaping in the form of potted plants, seating, and other amenities for the users of the building. A Roof Terrace may also include a portion of the roof as a green roof which may or may not have public access.</p>
Other (pool, play courts, picnic area, etc.)	<p>Other private open space could include a pool (swimming, lap pool, spa area), play courts (basket ball), or picnic areas with shade structures.</p>	<p>Such private open space may be incorporated with roof terraces or courtyards based on the appropriateness of the design and accommodation of privacy.</p>

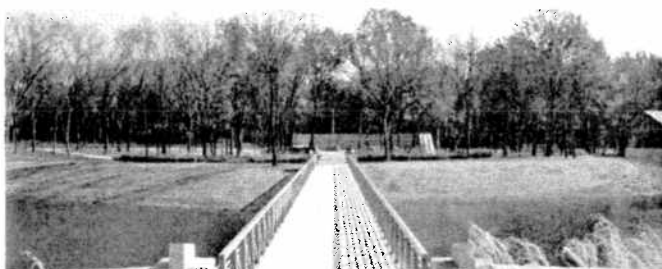


Table 11.2 Private Open Space Standard

<i>Number of Residential Units proposed</i>	<i>Private Open Space Standard Proposed</i>
1 - 12	The development shall provide: <ul style="list-style-type: none"> At least 50% of all residential units fronting on a street, public civic space, fore court, or courtyard shall provide one balcony or patio; <u>or</u> One playground or other private open space amenity All other private open spaces are optional.
13 - 30	The development shall provide: <ul style="list-style-type: none"> At least 50% of all residential units fronting on a street, civic space, fore court, or courtyard shall provide one balcony or patio; <u>and</u> One playground area or other private open space amenity All other private open spaces are optional
31 - 50	Any 3 of the private open spaces in the list above
Over 50 units	Shall provide at least one public civic space such as a park, plaza, square or green

11.3 Public Civic Space Standards. The design of public Civic Space shall be regulated by the Civic Space standards herein which shall create a network of open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from larger parks to neighborhood-scaled greens to urban squares and plazas. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike. The following section shall apply to all public Civic Space proposed within Jersey Village Crossing.

11.3.1 Park Standards



The park, as recommended on the Regulating Plan, will create an important public space that connects the community within Jersey Village Crossing and allows for passive recreation in addition to providing for regional detention. Parks shall primarily be naturally landscaped with many places to sit on benches or low walls. Passive recreation activities in parks may include grassy lawns for unstructured and informal active recreational activities. Appropriate civic elements, fountains or open shelters may be included.

Typical Characteristics

General Character

Large, open space

Spatially defined by landscaping and building frontages

Detention and retention, paths, trails, open shelters, lawns, trees and shrubs naturally disposed

May be lineal, following the trajectories of natural corridors

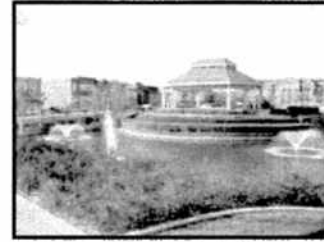
Location and Size

Location and size shall be as shown on the Regulating Plan (Appendix B).

Typical Uses

Unstructured and passive recreation
Casual seating/picnicking

11.3.2 Green Standards



Greens shall be appropriate where civic spaces are recommended on the Regulating Plan and will serve as an important public space for Jersey Village Crossing. Greens will be available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green. Greens are appropriate in the TOD Mixed Use, TOD Residential, TOD Transition, and Highway Mixed Use Character Zones.

Typical Characteristics

General Character

- Open space
- Spatially defined by landscaping and building frontages
- Lawns, trees and shrubs naturally disposed
- Open shelters and paths formally disposed

Location and Size

Location shall be as shown on the Regulating Plan (Appendix B). Size may range from 0.5 – 5 acres.

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses
- Residential address

11.3.3 Square Standards



Squares serve as an open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have a more urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square. The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square. Squares are appropriate in all character zones in Jersey Village Crossing.

Typical Characteristics

General Character

- Formal open space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Located at important intersection

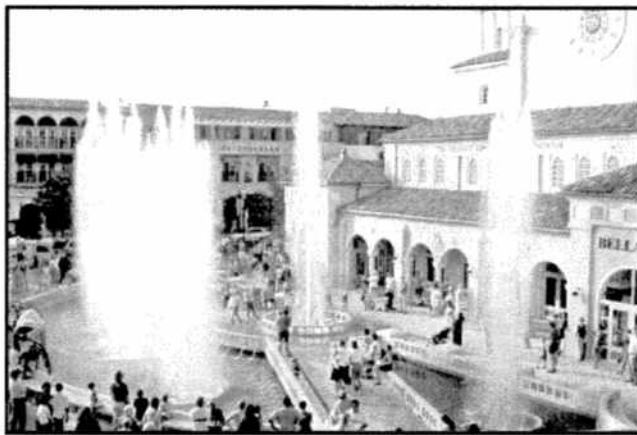
Location and Size

Location and size shall be as shown on the Regulating Plan (Appendix B). Size shall range from 0.5 to 2 acres.

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses

11.3.4 Plaza Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets. Plazas are appropriate in the TOD Core and TOD Mixed Use Character Zones.

Typical Characteristics

General Character

- Formal open space
- Primarily hardscape surfaces
- Trees and shrubs optional
- Spatially defined by building frontages

Location and Size

- Location shall be as shown on the Regulating Plan (Appendix B). Size shall range from 0.25 acre to 1 acre.
- Shall front on at least one (1) street.

Typical Uses

- Commercial and civic uses
- Casual seating
- Tables and chairs for outdoor dining
- Retail and food kiosks

11.3.5 Ancillary Structure Standards



Ancillary structures within public civic spaces should be formal in character and generally related to but clearly subordinate to surrounding buildings. Each individual structure should keep in character with the style of nearby buildings. Typically, these structures are located at prominent locations within an appropriate civic space. Ancillary structures located in more urban zones may have minor commercial uses, such as small food or news vendors, but may also serve as civic elements for general public use with more passive activities.

Typical Characteristics

General Character

- Formal character
- Relating to style of surrounding buildings
- One or more open sides
- Covered or providing shade
- Small, stand alone structure
- Located within Park, Green, Square or Plaza

Standards

Min. Size	N/A
Max. Size	N/A

Typical Uses

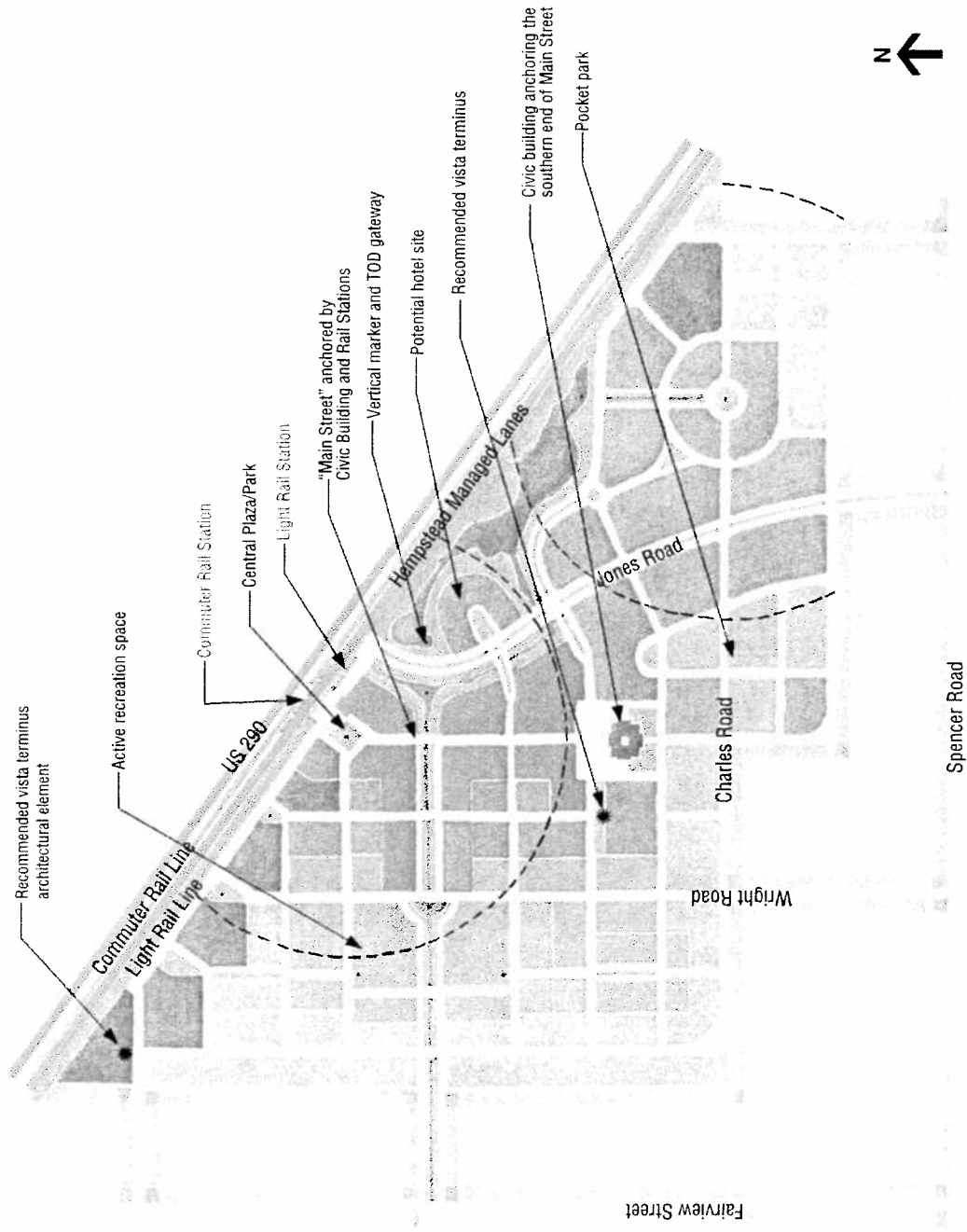
- Civic purposes
- Minor commercial uses
- Casual seating/picnicking

Appendix A



JERSEY VILLAGE TRANSIT ORIENTED DEVELOPMENT CONCEPTUAL PLAN

March 11, 2010








Character Zones

- TOD Core
- TOD Core Transition
- TOD Neighborhood
- TOD Neighborhood Transition
- Highway Mixed Use
- Civic Buildings
- Civic/Open Space
- 1/4 mile pedestrian walking radius






CHARACTER DISTRICTS




-  TOD Core
-  TOD Mixed Use
-  TOD Neighborhood
-  TOD Transition
-  Highway Mixed Use



STREET TYPES

TYPE A STREETS




-  TOD Main Street
-  Mixed Use Avenue
-  Canal Street

TYPE B STREETS







-  Suburban Boulevard
-  Urban Avenue
-  TOD General Street

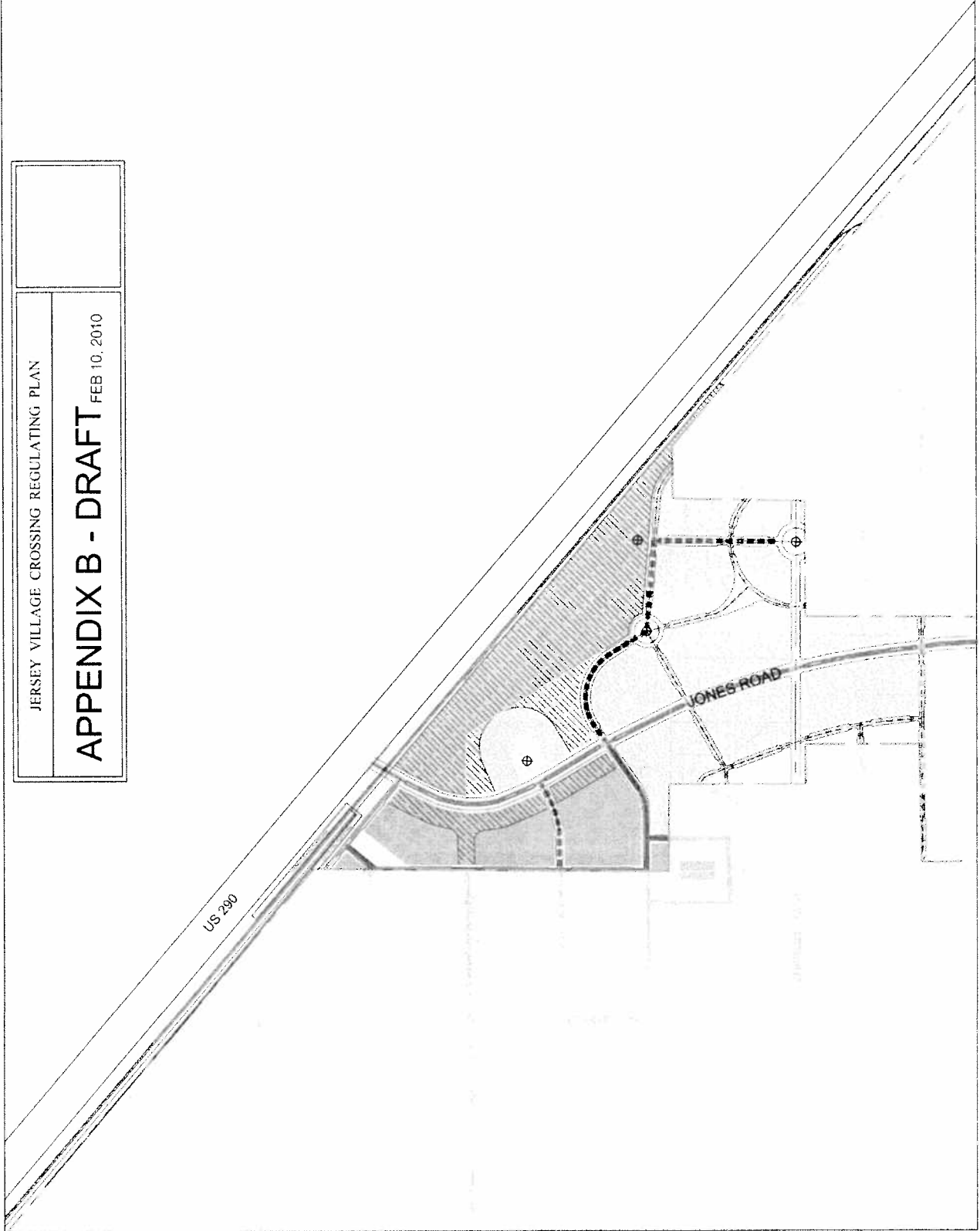
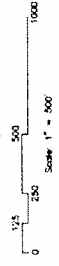
-  Solid line denotes mandatory street
-  Dashed line denotes non-mandatory street

OPEN SPACE TYPES

-  Mandatory Plaza
-  Non-Mandatory Green Square or Plaza
-  Non-Mandatory Park

SPECIAL REQUIREMENTS

-  Required Civic Building Site
-  Statue/Fontage
-  Main Street Fontage
-  Recommended Vista Terminus
-  City Limit Line
-  Existing Parcel Lines



**Appendix C
Planting List**

The following lists contain all species approved for use in Jersey Village Crossing. It contains native and acceptable adapted species. Other species that are drought tolerant and adaptive may be used for planting within Jersey Village Crossing. The use of alternative species may be permitted with the approval of the City.

CANOPY/STREET TREE LIST

Common Name

Live Oak
Red Oak
Bald Cypress
Sweetgum
Cedar Elm
Lacebark Elm
Bigtooth Maple
Caddo Maple
Texas Ash
Bur Oak
Chinquapin Oak
Escarpment Live Oak

Botanical Name

Quercus virginiana
Quercus shumardi
Taxodium distichum
Liquidambar styraciflua
Ulmus crassifolia
Ulmus parvifolia
Acer grandidentatum
Acer saccharum 'Caddo'
Fraxinus velutina 'Rio Grande'
Quercus macrocarpa
Quercus muhlenbergii
Quercus fusiformis
Ginkgo biloba

Add → Ginkgo
Sugamores

ORNAMENTAL TREE LIST

Common Name

Yaupon Holly
Crape Myrtle
Deciduous Yaupon
Southern Crabapple
Chinese Pistache
Mexican Plum
Wax Myrtle
Chitalpa
Deciduous Holly
Desert Willow
Eve's Necklace

Botanical Name

Ilex vomatoria
Lagerstromia indica
Ilex decidua
Malus app.
Pistacia chinensis
Prunus Mexicana
Myrica carifera
Chitalpa tashkentensis
Ilex decidua
Chilopsis linearis
Sophora affinis

Add → River Birch

SHRUBS LIST

Common Name

Dwarf Nandina
Dwarf Burford Holly
Abelia Grandiflora
Barberry
Yucca (Red, Yellow or Soft Tip)
Texas Sage
Indian Hawthorn
Dwarf Crape Myrtle

Botanical Name

Nandina domestica 'nana'
Ilex cornuta 'burfordi nana'
Abelia grandiflora
Barberry spp.
Hesperaloe parviflora
Leucophyllum frutescans
Raphiolepis indica
Lagerstromia indica 'nana'

Dwarf Yaupon Holly	<i>Ilex vomitoria 'nana'</i>
Pampas Grass	<i>Cortaderia selloana</i>
Black-Eyed Susan	<i>Rudbeckia hirta</i>
Dwarf Wax Myrtle	<i>Myrica pusilla</i>
Needlepoint Holly	<i>Ilex cornuta 'Needle Point'</i>
Knockout Rose	<i>Rosa 'Knock Out'</i>
Rosemary	<i>Rosmarinus officinalis</i>

GROUND COVER/VINES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Asian Jasmine	<i>Trachelosperum Asiaticum</i>
Big Blue Liriope	<i>Liriope muscari</i>
Mondograss	<i>Ophiopogon japonicus</i>
Purple Winter Creeper	<i>Euonymum coloratus</i>
Santolina	<i>Santolina virens</i>
Trumpet Vine	<i>Campsis radicans</i>
Virginia Creeper	<i>Parthenocissus quinquefolia</i>
Lady Banks Rose	<i>Rosa banksiaw lutea</i>
Confederate Jasmine	<i>Trachelospermum jasminoides</i>
Crossvine	<i>Bignonia capreolata</i>
Evergreen Wisteria	<i>Millettia reticulata</i>
Lantana 'New Gold'	<i>Lantana camara 'New Gold'</i>
Liriope 'Silver Dragon'	<i>Liriope muscari 'Silver Dragon'</i>
Prostrate Rosemary	<i>Rosmarinus officinalis prostrata</i>
Sweet Autumn Clematis	<i>Clematis terniflora</i>

ORNAMENTAL GRASSES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Fountain Grass 'Little Bunny'	<i>Pennisetum alopecuroides 'Little Bunny'</i>
Dwarf Maiden Grass	<i>Miscanthus sinensis 'Adagio'</i>
Fountain Grass	<i>Pennisetum alopecuroides</i>
Inland Sea oats	<i>Chasmanthium latifolium</i>
Maiden Grass	<i>Miscanthus sinensis 'Gracillimus'</i>
Mexican Feather Grass	<i>Stipa tenuissima</i>
Muhly Grass	<i>Muhlenbergia capillaris</i>
Weeping Lovegrass	<i>Eragrostis curvula</i>

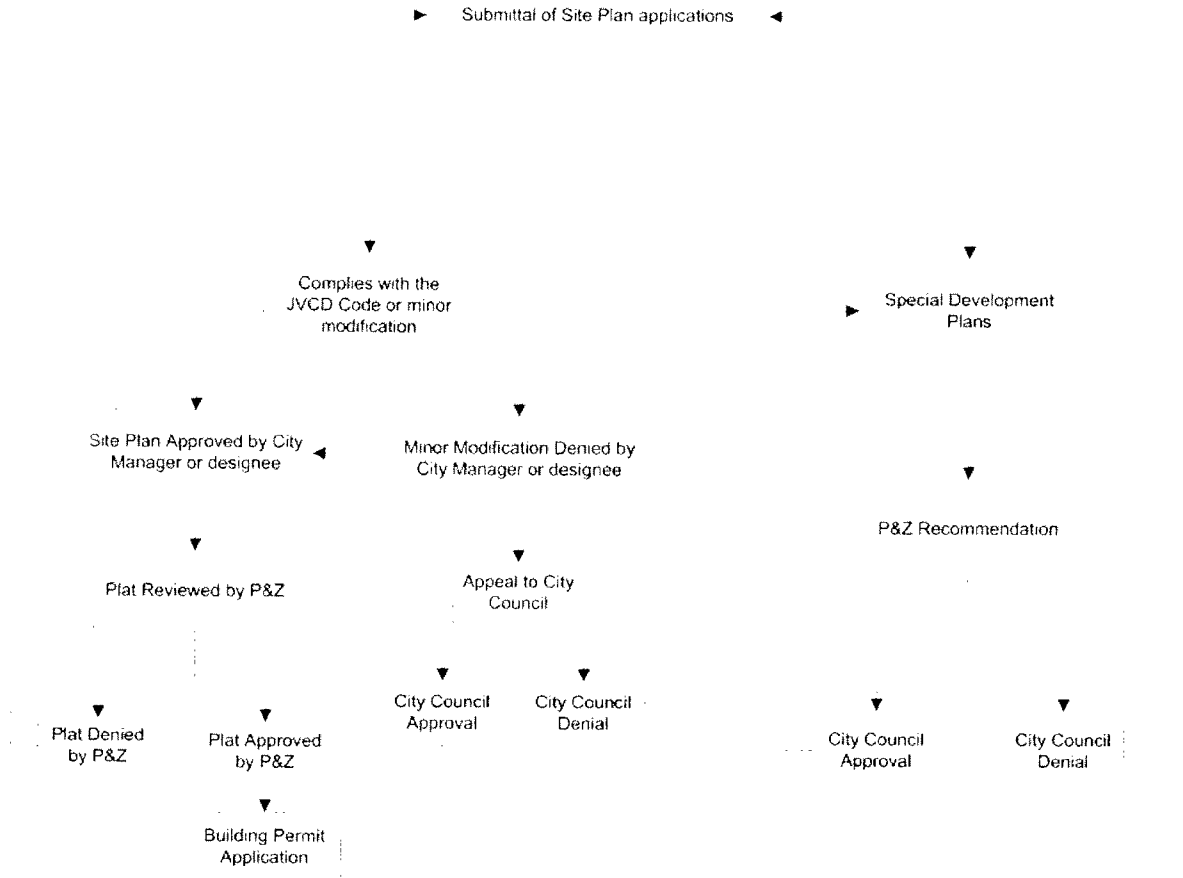
TURF

<u>Common Name</u>	<u>Botanical Name</u>
Bermuda	<i>Cynodon dactylon</i>
St. Augustine	<i>Stenotaphrum secundatum</i>
Zoysia	<i>Zoysia tenuifolia</i>

These plantings may be placed in Civic and Private Open Spaces or used to meet the private landscaping requirements of the Code. The applicant shall select drought tolerant, low maintenance, and adaptable shrubs and ground cover based on the placement on the site subject to approval by the City.

Appendix D

Jersey Village Crossing
Development Review Process



JVCD Code: Jersey Village Crossing Development Code
P&Z: Planning and Zoning Commission
CC: City Council
SDP: Special Development Plan

EXHIBIT B

Planning & Zoning Minutes

2-15-2011



**CITY OF JERSEY VILLAGE – PLANNING & ZONING COMMISSION
PRELIMINARY REPORT
AMENDMENTS TO THE CODE OF ORDINANCES
CHAPTER 14 – ARTICLE IV - ZONING DISTRICTS**

The Planning and Zoning Commission has met in a Joint Work Session with City Council and in Separate Session to review proposed amendments to the Code of Ordinances of the City of Jersey Village, Texas at Chapter 14 – Article IV- Zoning Districts.

After review and discussion, the Commission recommends that amendments be made to the Code of Ordinances of the City of Jersey Village, Texas at Chapter 14 – Article IV – Zoning Districts in order to address the following concerns:

- 1) Water runoff issues resulting from conflicting floodplain requirements;
- 2) Utilization of fill to meet floodplain requirements;
- 3) Construction phase drainage patterns to avoid flooding; and
- 4) Internal consistency of ordinances, including building codes.

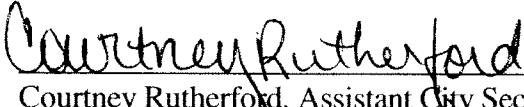
The Commission’s proposed recommended changes to the City’s Code of Ordinance are more specifically detailed in Exhibit “A” attached hereto and made apart hereof.

The next step in the process as required by Section 14-84(c)(2)(b) of the Jersey Village Code of Ordinances is for Council to call a joint public hearing with the Planning and Zoning Commission.

Respectfully submitted, this 15th day of February 2011.


Debra Mergel, Chairman

ATTEST:


Courtney Rutherford, Assistant City Secretary



Chapter 14, Article IV – Zoning Districts

Division 1 – Generally

Sec. 14-81. - Establishment of districts.

Sec. 14-82. - Zoning district map.

Sec. 14-83. - Interpretation of district boundaries.

Sec. 14-84. - Amendments to district boundaries.

Sec. 14-84.1. - Specific use permits.

Sec. 14-85. - Designation of newly annexed areas.

Sec. 14-86. - Permit required.

Sec. 14-87. - Penalty for violation of article.

Sec. 14-88. - Regulations that apply to all districts.

Secs. 14-89—14-100. - Reserved.

Sec. 14-88. - Regulations that apply to all districts.

(a) *General regulations.*

- (1)** No use of private or public property, whether it be residential, business, commercial or industrial, shall be permitted if that use is so obnoxious or offensive as to be reasonably calculated to disturb persons of ordinary temper, sensibilities and disposition by vibration, noise, view or the emission of odor, dust, smoke or pollution of any other kind.
- (2)** No use of public street right-of-way or public sidewalk or adjacent property, either private or public, shall be permitted if that use inhibits or hinders the movement of normal traffic on that street or sidewalk.
- (3)** City maintenance personnel must be allowed free access to utility easement and street rights-of-way so they can perform maintenance and repair of utility systems.
 - a.** No buildings or structures of any type or size, other than fences, shall be permitted on utility easements.
 - b.** If fences are located on utility easements, city maintenance personnel may remove such fences at any time for the purpose of gaining access to utility systems, and no liability will be incurred for damages to, repair of or replacement of such fences.
- (4)** Any building which has been damaged by fire or other causes to the extent of more than 50 percent of its value shall be rebuilt in conformity with this article, as though it were a new building, or removed. **This shall not apply to damaged structures outside the 100 year (1% probability) floodplain, in regards to slab height, where the footprint of a structure is not modified and the slab is intact.** The building shall be secured from entrance by any unauthorized persons within 24 hours after all embers are extinguished. A building permit is required before removal, repair or reconstruction commences which shall be started within 60 days of the date the damage occurs and shall be completed within a reasonable time, but not later than 150 days after the damage occurs. Before occupancy will be permitted a certificate of occupancy shall be required.
- (5)** Whenever any street is abandoned, the boundaries of any districts that lie along one side of each street are automatically extended to the centerline of such street.
- (6) a.** Recreational vehicles (manufactured or home-made) including, but not limited to, motor homes, mini-motor homes, travel trailers, 5th wheel trailers, camping trailers, boat trailers, other trailers used for recreational purposes only, truck campers, all terrain vehicles and all types of watercraft including boats (motorized or propelled by any other means) shall not be parked or stored in front or side yards in zoning districts A, C, or C-2, except for temporary periods of time not exceeding seven days within a 30-day period. A recreational vehicle shall not be parked or stored in a rear yard in zoning districts A, C, or C-2 unless such vehicle is screened from public view by a solid wood or opaque fence. Nothing in this ordinance is intended to preclude the construction of a properly permitted building that will enclose and screen recreational vehicles.
 - b.** A recreational vehicle or watercraft less than eight feet in height lawfully parked or stored on a lot in zoning districts A, C, or C-2 on May 1, 2009 may continue to be parked or stored

at such location until January 1, 2010. A recreational vehicle or watercraft greater than eight feet in height lawfully parked or stored on a lot in zoning districts A, C, or C-2 on May 1, 2009 may continue to be parked or stored at such location until July 1, 2019. The owner of the recreational vehicle or watercraft must be the owner of the lot on which it is parked or stored; the recreational vehicle or watercraft must continue to be registered by the state; and a recreational vehicle must have a valid motor vehicle inspection certificate. The owner of a lot upon which a recreational vehicle or watercraft greater than eight feet in height was lawfully parked or stored on May 1, 2009 shall register such recreational vehicle or watercraft with the city secretary not later than July 15, 2009. Registration shall be under oath on a form furnished by the city secretary and shall be accompanied by photographs showing the recreational vehicle or watercraft, its location on the lot and its license plate or registration information. The owner may replace a recreational vehicle or watercraft registered under this section with another recreational vehicle or watercraft. The owner shall be issued a certificate with a brief description of the nonconformity which shall thereafter be considered evidence of the lawful continuation of the parking or storage of such recreational vehicle or watercraft.

- (7) a. Trucks and vans, larger than one ton in capacity, and self-propelled, self-powered, or pull-type equipment that weighs at least 3,000 pounds and that are intended to be used for commercial, agricultural, construction, or industrial uses, trailers and towed vehicles shall not be parked or stored in a front, side, or rear yard in zoning districts A, C, or C-2 except during the act of loading or unloading and except in connection with the provision of services to the property at which it is parked.

b. Truck tractors shall not be stored or parked in zoning districts A, B, C, C-2 and M except during the act of loading or unloading.
- (8) No vehicle shall be parked or stored on an unpaved surface in a front or side yard in zoning districts A, B, C, C-2 or M.
- (9) Vehicles held for sale, lease or rental in any business or industrial district shall not be parked or stored on unpaved surfaces.
- (10) No platted lot shall be reduced in size and no lot area shall be reduced or diminished so that the lot size or the yards shall be smaller than prescribed by this chapter.
- (11) No individual water well or piping for such system shall be connected in any way to any public water supply system.
- (12) No oil, gas or other mineral exploration, production or drilling operations for minerals of any kind shall be conducted on any lot or parcel of land within the city except in zoning district H (industrial district).
- (13) Add-on construction. After a certificate of occupancy has been issued for a building in accordance with section 14-7(b), no add-on type of construction such as patio covers, carports, balconies, stoops, porches or any structural alteration of the building shall be made unless a new building permit is first obtained from the development officer in accordance with section 14-114. The plans must be submitted to and approved by the development officer. Requests for a building permit to allow add-on type construction or structural alteration of a building shall indicate that the proposed construction will be in harmony with the style of the original building.
- (14) No permit for the erection, alteration, reconstruction, conversion or use of any building shall be issued by the development officer unless the plan provided for in section 14-114 provides for a sidewalk to be constructed on all street sides of such building. This subsection shall apply to all districts of the city, with the exception of Block 42.
- ~~(15) All residences constructed on residential building plots shall be constructed on a concrete slab or on continuous concrete grade beams. Deleted~~
- (16) Reserved.
- ~~(17) The slabs of all buildings shall be at least eight inches above grade, and the slab also shall be a minimum of 12 inches above the top of the curbline. Streets and lots shall be graded so that all lots can be made to drain from the back of the lot toward the curbline. The lot grade from back to front shall be at least one percent except where rear lot elevations have been established at a lower elevation by previously developed lots to the rear, such lots having a common rear property line with the lot under consideration. When that condition makes general one percent grading impossible, a grading plan must be approved by the city engineer prior to issuance of a building permit. However, all lots which are adjacent and~~

~~contiguous to a bayou shall be permitted to drain into the bayou. This section shall not apply to slabs heretofore constructed. For additional drainage criteria, see article IX of this chapter. Deleted.~~

- (18) Buffering. Bufferyards will be required on the perimeter, or parts thereof, of a nonresidential development adjoining or surrounding residential developments in conjunction with the screening requirements provided below. Bufferyards shall be provided to protect the adjacent residential properties from environmental impact of the nonresidential facility such as visual blight, parking or roadway illumination, headlights, noise, blowing paper and dust and service areas. Bufferyards shall be provided according to the standards provided in Example 14-7. See also sections 14-310 and 14-311 for landscaping standards.
- (19) Screening.
- a. For development of nonresidential lots directly abutting and adjacent to residential lots, an obscuring wall shall be required. The required wall shall be located inside the nonresidential lot lines abutting and adjacent to the residential lots; provided, however, where a masonry wall has been constructed in a residential subdivision abutting nonresidential lots prior to development of the nonresidential lots, the masonry wall in the residential lots shall serve as the required screen and shall meet all requirements required of screens on nonresidential lots. Where a masonry wall of at least six feet in height exists in the residential lots abutting a nonresidential development, the nonresidential developer shall provide a buffer yard one and one-half times the width required elsewhere in this Code with two times the landscaping requirements in lieu of a second masonry wall.
 - b. All walls shall be constructed of a solid unpierced masonry material with the surface facing the residential lots constructed of a common or face brick, decorative block or similar material that is compatible with the principle buildings in the adjacent residential areas. Similar material shall not include smooth face concrete masonry blocks or units. Masonry walls shall be erected on a concrete foundation of adequate strength and shall be not less than four inches wider than the wall to be erected.
 - c. No opening shall be permitted for access through the wall unless a solid gate equally the height of the wall is provided. Such gate shall remain closed at all times except when in actual use.
 - d. The quality and type of materials used structurally for the walls shall conform with those specified in the building code which apply to foundation footing and supporting materials used in residential construction within the city.
 - e. Any person causing an excavation to be made on property adjacent to an existing wall shall protect the excavation in such a manner so that the soil of the adjacent property will not cave in or settle causing damage to the existing wall.
 - f. Walls shall be maintained to remain harmonious with the surrounding property by being repaired, rebuilt or replaced at intervals necessary to preserve the health, safety and welfare of the public. Notification of necessary maintenance will be by certified mail from the development officer to the current property owner who is responsible for the maintenance of the walls constructed.
 - g. If such freestanding walls are not repaired, rebuilt or replaced within 60 days after receipt of such notification by certified mail that certain maintenance is deemed necessary for the health, safety and welfare of the public, such penalties for violation shall be enforced as established in this article and other legal recourse.
 - h. The use of barbed wire, razor wire or any other similar material is not allowed.
- (20) Lighting of off-street parking areas and/or for external illumination of any building and grounds shall be arranged so that the source of light is concealed or shielded from public view and from adjacent residential properties and does not interfere with traffic.
- (21) Temporary buildings shall be permitted only in connection with construction on the premises on which located, which buildings shall be removed upon completion or abandonment of the construction; real estate sales offices during development of residential subdivision in which they are located and limited to sales of property in such subdivisions; and educational, municipal or church functions operated for the benefit of the public. It shall be unlawful for any person to erect, construct, enlarge, place, locate or relocate any temporary building on premises within the city, or cause the same to be done, without first obtaining a building permit therefore in accordance with section 14-114. It shall be unlawful for any person to use

or occupy a temporary building without first obtaining a certificate of occupancy therefore in accordance with section 14-7(b). A certificate of occupancy shall be limited to the duration of the intended use not to exceed one year; provided, however, that the certificate of occupancy may be extended as follows:

a. Where the temporary building is used for the contractors' offices, equipment storage, model homes and real estate sales offices for residential projects, the certificate of occupancy may be extended at one-year intervals until the project is 90 percent constructed; and

b. Where the temporary building is for a use other than described in subsection (21)a of this section, the certificate of occupancy may be extended for one additional one-year period.

A temporary building shall be in compliance with the terms of the building code and all other applicable laws and ordinances. A temporary building shall not be used in any manner constituting a nuisance or interfering with the quiet enjoyment of the neighborhood.

- (22) Maintenance, fabrication and repair of equipment or machinery and manufacturing, processing and assembly of materials, products and goods shall be performed only on a paved area located within the building lines of a lot, whether within or outside of a building.
- (23) Garbage and refuse containers in commercial and industrial zoning districts shall be screened from public view, from adjacent buildings and from adjacent property, public or private. Screens shall be permanent and opaque and of wood, metal or masonry material, shall be at least as high as the screened object and shall not be less than six feet high.
- (24) Building permits are not required for "other free standing structures" as listed in subsection 14-101(6)b. provided that such structures shall have a building area of less than 25 square feet and provided that no utilities are installed.
- (25) Fencing standards. Where chain link fencing is constructed within the city, the fencing material should be a minimum of four feet in height and a maximum of six feet in height. All fencing four feet in height shall be a minimum of 11 gauge galvanized material and all fencing higher than four feet shall be a minimum of nine gauge galvanized material. The use of barbed wired, razor wire or similar material shall not be allowed in residential zoning districts. Barbed wire and razor wire may be used in commercial and industrial districts in combination with the above approved fencing material and shall be installed on top of the fence with the total height above ground not to exceed seven feet.
- (26) A nonresidential building may not be erected on a lot abutting a subdivision containing residential structures closer to the subdivision than 50 feet for a one-story building, 100 feet for a two-story building, or 150 feet for a three or more-story building.
- (27) No sleeping quarters other than those within a permanent residential structure, hotel or motel shall be used for longer than seven days within a 30-day period; provided that a recreational vehicle or portable building may be used for temporary housing and sleeping quarters by a person whose residence is uninhabitable as a result of flood, fire or environmental conditions if parked on a paved surface on a private property and with appropriate sewer and electrical connections. No person shall occupy a recreational vehicle or portable building for temporary housing and sleeping quarters without first receiving a permit for such use from the building official. The building official shall issue a permit if the conditions set forth herein are met. The permit shall be valid for the period of time necessary to restore the residence to habitability, as determined by the building official, but not to exceed 120 days. Any extension to such permit will require approval of the building official and director of public works.
- (28) Any finished floor that is elevated more than 12" above natural grade shall be provided with a dropped brick ledge or dropped veneer so as to leave no more than 8" of slab exposed. All crawl spaces resulting from pier-and-beam and stem-wall types of construction must provide dropped veneers with vents sufficient to cover the sub-slab void.

(b) Building setbacks. Unless otherwise specifically provided elsewhere in this article, all buildings and structures located in a district within the city shall conform to the following setbacks (as measured from the property line):

Lot Line	Setback (In Feet)	Modifier
Front	25	—
Rear	25	—
Side street	10	(1) 25 feet where one or more lots have frontage on the street.
Side	7½	(2) Zero feet for townhouses and one side of patio homes.

(Ord. No. 95-04, § 1(302), 2-20-95; Ord. No. 96-08, § 2, 6-17-96; Ord. No. 97-04, §§ 1, 2, 4-21-97; Ord. No. 99-05, §§ 2—4, 2-15-99; Ord. No. 99-31, §§ 2—5, 11-15-99; Ord. No. 00-26, § 1, 8-21-00; Ord. No. 01-30, §§ 3, 7, 10-15-01; Ord. No. 02-16, § 1, 7-15-02; Ord. No. 03-17, §§ 1, 2, 4-21-03; Ord. No. 04-06, § 1, 3-15-04; Ord. No. 04-08, § 2, 5-17-04; Ord. No. 04-25, § 1, 12-20-04; Ord. No. 2006-5, § 1, 3-20-06; Ord. No. 2006-8, § 1, 2-20-06; Ord. No. 2008-22, § 1, 7-21-08; Ord. No. 2009-22, §§ 1, 2, 5-18-09)